



SKYWATER

OVER HORSESHOE BAY

DESIGN GUIDELINES January 2008



# Design Guidelines

Revised January 2008

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# Preface

These Design Guidelines are intended to provide guidance for all residential development and construction—new buildings, building additions, sitework and landscaping — as well as any subsequent changes or alterations to previously approved plans or existing homes. The Guidelines will be administered and enforced by the Skywater Design Review Committee (DRC) in accordance with procedures set forth in the Skywater Declaration of Covenants, Conditions and Restrictions (CC&R's) recorded with the State of Texas, and as may be amended thereafter. In the event of any conflict between Design Guidelines and CC&R's, the CC&R's shall govern and control.

The Guidelines may be amended from time to time by the DRC. It is the Owners' responsibility to be sure that they have current Guidelines and have carefully reviewed all applicable sections of the CC&R's, project approval documents, and/or other governing ordinances or regulations that may effect their Improvements. Any such conflicts identified by the Owner or their Consultants shall be immediately brought to the attention of the DRC. In general, where regulations or Guidelines conflict with one another, the more restrictive regulations or requirements shall apply.

The illustrations in this document are intended to convey a concept, and not to portray specific plans for construction. The intent of these Guidelines is not to create look-alike structures or other Improvements, but to provide a framework that Owners and their design team may use to create homes that further the goal of the Skywater Community Plan.

To that end, the DRC reserves the right to require design modifications or additions that, though not specifically contained in the Guideline text or illustrations, are within the spirit and intent of the Guidelines and the design objectives of the Community. These Guidelines are binding on any persons, company or firm that intends to construct, reconstruct or modify any permanent or temporary Improvements in the Community.

The DRC evaluates all development proposals on the basis of these Design Guidelines. Some of the Guidelines are written as broad standards and the interpretation of these standards is left up to the discretion of the DRC. Other Guidelines, such as Building Height or setbacks, are more definitive or absolute design parameters and in many cases parallel city and building code requirements or project approval documents. It is the intention of these Guidelines that all Improvements comply with these absolute standards.

In the event of a conflict between these Guidelines and any local, state, or federal building or zoning code or project approval document, such other shall govern. It is the responsibility of the Owner and their Consultants to familiarize themselves with those approvals that affect their proposed Improvements.

The Skywater Community will be constructed in phases. These Guidelines address residential Improvements in all proposed phases. Homeowners should refer to appropriate sections in these Guidelines and the Homesite Diagrams for conditions governing Improvements within their Lot.



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# chapter 1 the skywater community design philosophy

## 1.1 AN INTRODUCTION TO THE SKYWATER COMMUNITY

Skywater will be created to redefine Horseshoe Bay for the coming generations, allowing all its residents and guests to experience the feeling of the Texas Hill Country - informal, rolling hills filled with warmth and welcome. The Skywater plan and the ideas expressed in these guidelines were born of this spirit and a deep respect for the land.

A careful analysis of the land and an understanding of the early cultural influences that helped shape Horseshoe Bay led to a design philosophy for Skywater with the following four main objectives:

- 1 Establish a community based upon land stewardship. Original settlers possessed a profound respect for managing and utilizing their resources to ensure that it would be bountiful for future generations. At Skywater, open space preservation and responsible management practices will create a community that builds upon this natural beautiful setting. Preservation of natural features of each home site, such as views, the rolling topography and significant trees are encouraged to minimize disruption of the site.
- 2 Create landscapes and buildings that reflect the area's rugged character and natural beauty that captures the spirit and character of Texas Hill Country. Horseshoe Bay possesses an unrivaled geological history that has defined the area for millions of years with romantic natural landscapes of gently undulating slopes, stone-lined creek bottoms, and oak-studded grasslands that create a feeling of serenity. Preserving these qualities will guarantee the use and enjoyment for the coming generations.
- 3 Embrace the use of vernacular building materials (stone, wood, etc.), methods, earth tone colors and extensive landscaping shall create and enhance this natural setting.
- 4 Establish a way of building and landscaping to create spaces that are effortlessly "connected" to the natural environment. The Texas lifestyle is about living on the land with few barriers. Lake and hill views, prevailing winds, and sun orientation provide the framework for creating living environments that blur the conventional distinction between inside and outside.

## 1.2 THE COMMUNITY PLAN

The Skywater Community Plan has been carefully crafted to create living environments that enhance modern lifestyles. Accordingly, these Guidelines have been crafted to support the following Community design objectives:

### VIEW SHEDS

Protecting and enhancing views of the gently rolling hills, picturesque meadows and golf views for residents from their homes and/or throughout the Community as a whole is a primary goal of these Guidelines. To this end, several types of view sheds are identified. Special provisions within these Guidelines and the review procedure were established to ensure their protection.

- Short Range Views are generally of golf and/or water features. Building envelopes, landscaping provisions and grading concepts are described in these Guidelines to maximize views of these amenities.
- Views to the north, northwest, and east of the Texas hills country are the most dramatic and form the signature visual image of Skywater. Whenever possible, Lots have been oriented to take full advantage of these views. Homeowners are encouraged to design homes and landscapes that embrace these view opportunities.
- Views from Golf - An important community asset are viewsheds from the golf course.

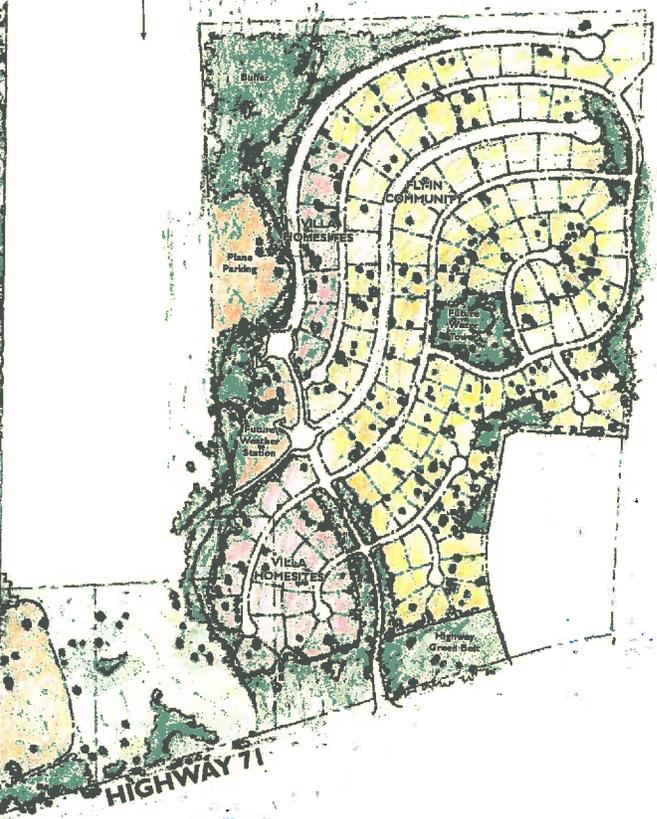
Designers are urged to consider this in their concept design. The objective is that the home is not a focal point and that it rests discreetly within the landscape. In all cases, view preservation will be the primary criteria by which The Skywater DRC will evaluate applications. Landscaping or other Improvements that adversely affect views from another Lot or Common Areas will not be allowed, regardless of whether or not the proposed or constructed Improvement conforms to these Design Guidelines.

### PRIVACY

- The Community Plan employs several planning mechanisms to create privacy:
- Larger lots with increased setbacks that will allow greater separation between buildings and create the opportunity to achieve privacy through the use of landscaping.
- Privacy between homes is an important element to creating a Horseshoe Bay community. Dense landscaping, supplemented by walls when necessary, is encouraged to achieve this goal.
- Discreet neighborhoods, comprising a limited number of Lots on cul-de-sac streets, are nestled onto distinct landforms with an intimate relationship to the golf course.



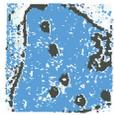
↑ RUNWAY



**SINGLE FAMILY ESTATES**



**VILLAS**



**MULTI-FAMILY**



**GENE COM**



**RECR**



**GOV/ UTIL/ INST**

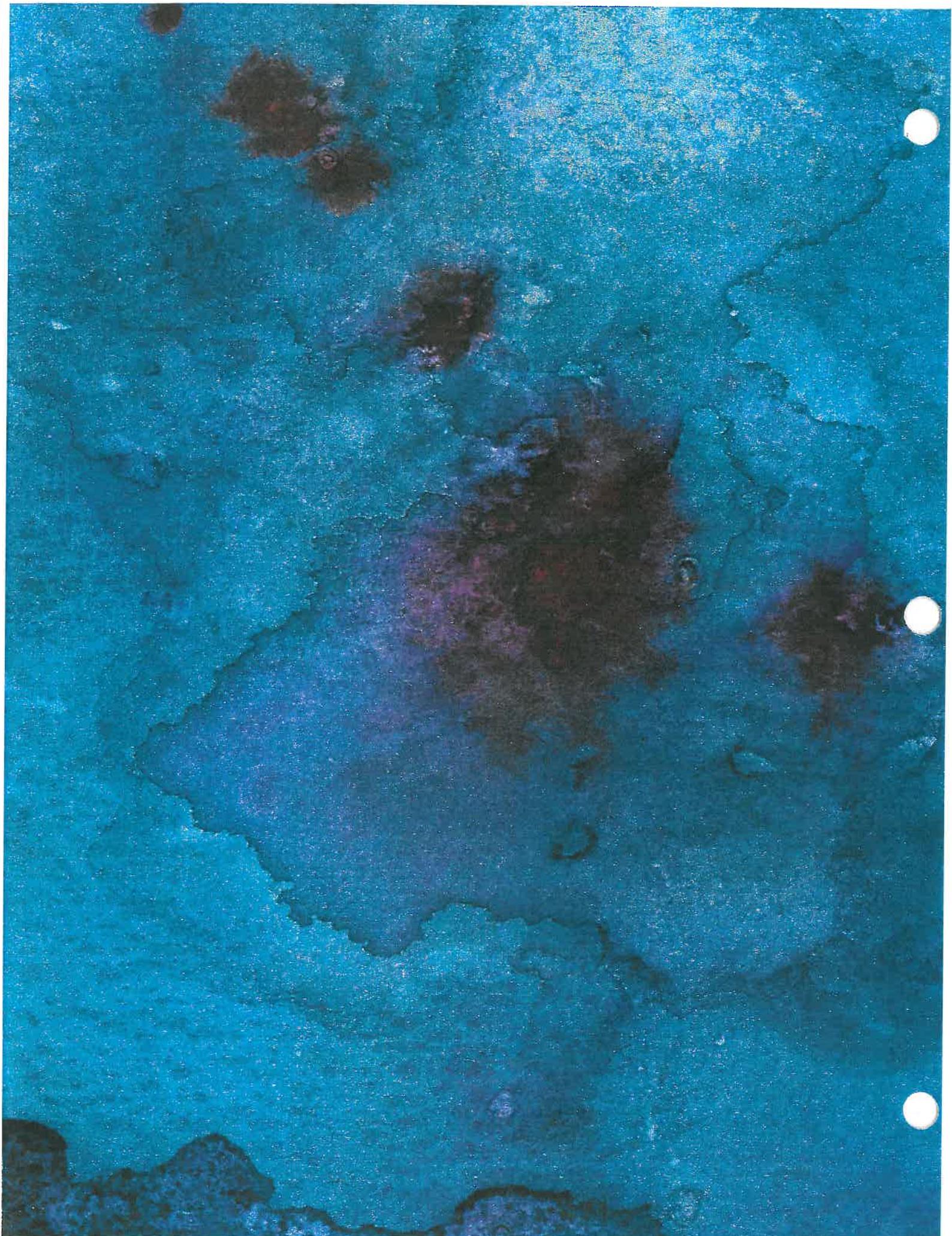


**SKYWATER**

OVER HORSESHOE BAY

**COMMUNITY PLAN**

April 2007



## chapter 2 design review committee

*The following chapter outlines the functions and organizations of the DRC. Please refer to the CC&R's for further information.*

### **2.1 DESIGN REVIEW COMMITTEE MEMBERSHIP**

The Design Review Committee (DRC) will consist of a minimum of five, and a maximum of seven, Members. Each person will hold office until such time as she or he has resigned, been removed or her or his successor has been appointed.

## 2.2 APPOINTMENT AND TERM OF MEMBERS

All Members shall initially be appointed by the Declarant on behalf of The Skywater Property Owners Association (Association). All of the members of the DRC will be appointed, removed, and replaced by the Declarant. The term of office of each member of the DRC, subject to the CC&R's, will be two years, commencing January 1 of each year; and continuing until his successor shall have been appointed. Should a DRC member die, retire or become incapacitated, or in the event of a temporary absence of a member, a successor may be appointed.

## 2.3 MEMBERSHIP REQUIREMENTS

Members of the DRC appointed by the Declarant need not be Members of the Association. Two Members of the DRC are required to be licensed design professionals in the fields of architecture, landscape architecture or engineering. One member of the DRC shall be representing the Horseshoe Bay Resort. The DRC shall contract and/or assign some of the DRC's administrative duties, but not authority, to any qualified design professional or manager as needed.

## 2.4 RESIGNATION OF MEMBERS

Any Member of the DRC may at any time resign from the DRC upon written notice stating the effective date of the Member's resignation to the Board, or to the Declarant, whichever then has the right to appoint and remove members. Any Member may be removed at any time by the Declarant, with or without cause.

## 2.5 FUNCTIONS OF THE DRC

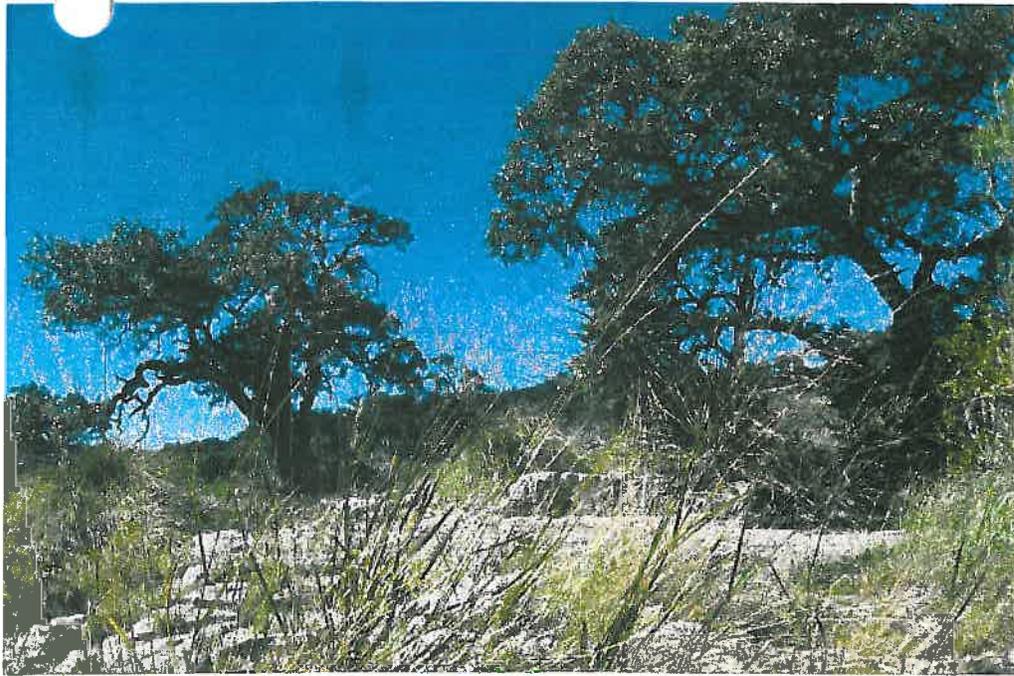
It will be the duty of the DRC to consider and act upon such proposals or plans from time to time submitted to it in accordance with the Design Review procedures established by these Design Guidelines; to amend the Design Guidelines as deemed appropriate with the approval of the Declarant; and to perform any duties assigned to it by the Declarant as set forth in this document and the CC&R's.

## 2.6 MEETINGS

The DRC will meet monthly or as needed to properly perform its duties. The DRC's actions on matters will be by a majority vote of the DRC. Any action required to be taken by the DRC may be taken without a meeting if consent in writing, setting forth the action so taken, will be signed by all of the DRC Members. The DRC will keep and maintain a record of all actions taken by it. The powers of this DRC relating to Design Review will be in addition to all Design Review requirements imposed by the City of Horseshoe Bay and any other authority having jurisdiction over Improvements at Skywater.

## 2.7 COMPENSATION

The Declarant will have the right to set the compensation for the DRC Members. Compensation may at any time be revoked or changed by Declarant with or without cause. All Members will be entitled to reimbursement for reasonable expenses incurred by them in connection with the performance of any DRC function or duty. The DRC shall contract and/or assign some of the DRC's administrative duties, but not authority, to any qualified design professional as needed.



## 2.8 AMENDMENT OF DESIGN GUIDELINES

The DRC may, from time to time with the approval of the Declarant, adopt, amend and repeal, rules and regulations to be incorporated into, or amendments of, the Design Guidelines, which, among other things, interpret, supplement or implement the provisions of the Design Guidelines. All such rules and regulations or amendments, as they may from time to time be adopted, amended or repealed, will be appended to and made a part of the Design Guidelines. Each Owner is responsible for obtaining from the DRC a copy of the most recently revised Design Guidelines.

## 2.9 NON-LIABILITY

Neither the DRC nor any Member will be liable to the Association, any Owner or any other person for any damage, loss or prejudice suffered or claimed on account of:

- 1 Approving or disapproving any plans, specifications and other materials, whether or not defective.
- 2 Constructing or performing any work, whether or not pursuant to approved plans, specifications and other materials.
- 3 The development or manner of development of any land within the Skywater Community.
- 4 Executing and recording a form of approval or disapproval, whether or not the facts stated therein are correct.
- 5 Performing any other function pursuant to the provisions of the Design Guidelines.



## chapter 3 design review process

This section provides a guide for the Design Review Process for the Skywater Community. The process involves a series of meetings between the Owner, their design team and the DRC. The process begins with an informal introductory meeting and concludes with the completion of construction. Along the way are a series of meetings designed to ensure a smooth and efficient review of the building and site design. The DRC is committed to assisting Owners through the Design Review Process and should be thought of as a member of the Owner's design team as opposed to a regulatory review agency.

### 3.1 OVERVIEW OF DESIGN REVIEW PROCESS

Improvement plans will be carefully reviewed by the DRC to ensure that the proposed design is compatible with the design intent at Skywater. This Design Review Process must be followed for any of the following Improvements:

- Construction of all new buildings;
- The renovation, expansion or refinishing of the exterior of an existing building;
- Major site and/or landscape Improvements (including pools, driveways and/or culverts); and
- Construction of, or additions to, fences or enclosure structures.

The DRC evaluates all development proposals on the basis of these Design Guidelines. Some of the Guidelines are written as broad standards and the interpretation of these standards is left up to the discretion of the DRC. Other Guidelines, such as Building Height or setbacks, are more definitive, or absolute, design parameters and in many cases parallel City and building code requirements or project approval documents. It is the intention of this Design Review Process that all Improvements comply with these absolute standards. In the event of a conflict between these Guidelines and any local, state or federal building or zoning code or project approval documents, the local, state, or federal building or zoning code or project approval documents shall govern. Local, state, and federal jurisdictions include the following: TAS, TDLR, ADA, LCRA, etc.

*The Skywater Design Review Process takes place in four steps:*

- 1 Application and Fee (See Section 3-15)
- 2 Pre-Design Conference & Concept Design
- 3 Preliminary Design Review
- 4 Final Design Review
- 5 Construction Observation

Any Improvement as described above will require, and be preceded by, the submission of plans and specifications describing the proposed Improvements accompanied by an application fee.

The Owner shall retain competent assistance from a licensed Architect, Civil Engineer, Landscape Architect, Soils Engineer and a licensed and bonded Contractor (Consultants) as appropriate. The Owner and Consultant(s) shall carefully review the CC&R's and these Design Guidelines prior to commencing with the Design Review Process.

Having secured Final Design approval from the DRC, the Owner is also required to meet all the submittal and approval requirements of the City of Horseshoe Bay Development Services Department to obtain design approvals or any other discretionary permits and a building permit.

The Owner is to commence construction within one year of the Final Design approval. If construction does not commence within this timeframe, the design approval will expire, requiring resubmission of the application and payment of all associated fees.

### 3.2 RECOMMENDED DESIGN PROFESSIONALS

The DRC may create a list of Design Professionals who have completed approved plans within the Skywater Community. These professionals have demonstrated their understanding of established design objectives for the Skywater Community and familiarity with the Design Guidelines. Owners may choose a Design Professional from this list or elect to choose a non-listed Professional to design their Residence at Skywater.

### 3.3 PRE-DESIGN CONFERENCE AND CONCEPT DESIGN

#### 3.3.1 PRE-DESIGN CONFERENCE

Prior to the preparation of any materials for formal DRC review, the Owner and/or the Consultant(s) are required to meet with representatives of the DRC for a Pre-Design Conference. An explanatory Pre-Design Conference package that includes a current copy of the Design Guidelines, the Lot Diagram and a conference request form is available from the DRC Office. The purpose of this meeting will be for the DRC to answer any questions the Owners and/or Consultant(s) may have and to offer guidance on the following subjects:

- The particular characteristics and restrictions on the Lot, as shown on the Lot Diagram, to be provided by the DRC;
- Optimal orientation of buildings and outdoor spaces;
- Additional survey information requirements;
- Preliminary building and site development program ideas and requirements;
- Clarification and review of Design Guideline objectives;
- The requirements, fees, and schedule of the Design Review Process.

#### 3.3.2 CONCEPT DESIGN

After or during the Pre-Design Conference, the Applicant shall submit to the DRC a written application and appropriate fee for Concept Design Review together with the Concept Design Review submission materials as described below:

- 1 Concept Design Review Application Form (Sample in Appendix D).
- 2 Design Review Application Fee.

- 3 Concept Site Plan: (1"=20', 16' or 8') indicating property lines and Lot Diagram areas, building location/footprint, driveways, pools, water features and other major hardscape elements and basic grading concepts. The Applicant should confirm and field verify the location of all utility connections to the lot at this time to ensure that no conflicts exist with the proposed improvements.
- 4 Concept Floor Plan: (1"=20', 16', or 8') showing general room layout and circulation. This may be combined with the Concept Site Plan.
- 5 Concept Elevations: (1"=16' or 8') of the street and golf sides of the building showing general massing, roof forms, building height and materials.
- 6 A brief description of the proposed architectural style, including regional historic precedents (if any).

The purpose of this submittal is to confirm that the design professionals are headed in the right direction, are correctly interpreting the Guidelines and that the Owner's program can be accommodated on the Lot. This submittal may be combined with the Pre-Design Conference.

### 3.4 PRELIMINARY DESIGN REVIEW

After the Pre-Design Conference and Concept Design, the Owner shall submit a written application for Preliminary Design Review together with Preliminary Design Review submission materials, described in Section 3.4.1 below.

#### 3.4.1 PRELIMINARY DESIGN REVIEW SUBMISSION MATERIALS

Within this step, the Applicant shall prepare and submit to the DRC for review and approval a Preliminary Design Review package which should adequately convey existing site conditions, constraints, building orientation and design, vehicular and pedestrian access, the proposed use of exterior materials and colors and conceptual landscape design. The package shall include two full-size sets and two sets of 11" x 17" reductions of the following drawings and/or materials:

- 1 Preliminary Design Review Application Form (Sample in Appendix)
- 2 Location Map - indicating location of Parcel within Skywater.
- 3 Parcel Survey - a property survey (minimum scale: 1" = 20') prepared by a licensed surveyor indicating property boundaries, the area of the property, all easements of record, utilities, 100-year flood plain, one-foot contours, any significant natural features such as existing trees, or any significant drainages as applicable. See Appendix \_ - Lot Survey Requirements.
- 4 Preliminary Site Plan - 1" = 20' minimum, showing existing topography and proposed grading and drainage (1-foot contour interval), existing off-site elements (buildings, walls, trees, utility connections and facilities, etc.) within 20-feet of the property boundary, building footprint with finished floor grades, setbacks, Building Envelope and other zones as indicated on the Lot Diagram, driveway, parking area, turnarounds, drainage, fences/walls, roofs, patios, decks, pools, and any other site amenities.
- 5 Preliminary Floor and Roof Plans - minimum 1/8" = 1'-0", including all proposed uses, proposed walls, door and window locations and location of mechanical and electrical systems.
- 6 Preliminary Elevations - minimum 1/8" = 1'-0", including roof heights, existing and finish grades, building heights and notation of exterior materials. Two sets of elevations; one set should be rendered in color.
- 7 Site Sections - minimum scale 1" = 20', showing proposed buildings, building heights, elevations and existing and finished grades in relation to surrounding site, including adjacent residences and roads as may be required by the DRC.
- 8 Conceptual Landscape Plan - a conceptual plan at 1/8" = 1'-0" minimum, showing irrigated areas, areas of planting, turf areas, preliminary plant list, Building Envelope and other zones as indicated on the Lot Diagram, water features, pools, patios, decks, and any other significant design elements. This may be combined with the Site Plan. Adjacent (15' min) hardscape and planting (lots and golf course 20' min.) to be shown.
- 9 Grading, Drainage and Erosion Control Plans- 1/8" = 1'-0" minimum, showing existing and proposed grading (1-foot contour interval), drainage elements and erosion control methods. Site plan should include twenty feet beyond Owner's property line in order to depict relationship to adjacent Lots and Common Areas.
- 10 Study Model – minimum scale 1" = 20', illustrating the relationship between proposed building forms and topography, tree heights and prevailing site conditions. This need not be an expensively detailed model, but simply adequate to communicate basic three-dimensional massing concepts. Computer drafted 3-D modeling and color renderings may be submitted in addition to the model or at the request of the DRC.
- 11 Material Samples – on 8-1/2" x 11" or 11" x 17" boards showing:
  - Roof material and color;
  - Wall material and color;
  - Exterior trim material and color;
  - Stone/rock materials;
  - Window/door materials and color;
  - Fence/wall materials and color
  - Paving materials and color.

### 3.4.2 STAKING

The Owner may be required to stake the corner locations of the proposed buildings and all other major Improvements upon submittal of Preliminary Design Review documents. In some instances, the DRC may require that ridgeline flagging be erected to indicate proposed Building Heights.

### 3.4.3 PRELIMINARY DESIGN REVIEW MEETING

Upon receipt of the required documents and staking of the property (if required), the DRC will notify the Owner of the scheduled meeting date to review the Preliminary Design documents. The DRC will review and comment on the application at the meeting, allow time for discussion with the Owner and/or Consultant(s) (if present) and subsequently provide the Owner with the conclusions of the meeting in writing.

The comments of the DRC on the Preliminary Design submittal shall be advisory only, and shall not be binding upon either the Owner or the DRC. A second review meeting may be necessary to review corrected and/or new materials. Corrected materials will be provided to the DRC a minimum of five working days prior to the next regularly scheduled meeting. An itemized letter from the Owner shall accompany any resubmittal noting all DRC comments and how each comment has been addressed in the resubmittal.

## 3.5 FINAL DESIGN REVIEW

Within one year of Preliminary Design Review approval the Owner shall initiate Final Design Review by submitting required Final Design documents. Required Final Design documents and procedures are described in Section 3.5.1 below.

### 3.5.1 FINAL DESIGN REVIEW SUBMISSION MATERIALS

The Applicant shall provide all information necessary to reflect the design of the proposed building(s), landscape or other features requiring the approval of the DRC. Final Design documents shall generally conform to the approved Preliminary Design Review documents. All architectural plans are to be prepared by a licensed Architect. All landscape architectural plans are to be prepared by a licensed Landscape Architect. The Final Design Review Documents shall be Construction Document level drawings. Submit two sets full size and two sets of 11"x 17" reductions of final plans that include the following:

- 1 Final Design Review Application Form
- 2 Site Plan - 1" = 20' minimum, showing existing topography and proposed grading (1-foot contour interval), building footprint with finished floor grades, Building Envelope and other zones as indicated on the Lot Diagram, driveway, parking area, turnarounds, fences/walls, patios, decks, utility connections and pad locations, pools and any other site amenities. Site plan should include 20-feet beyond Owner's property line in order to depict relationship to adjacent Lots, the golf course and Common Areas.
- 3 Grading, Drainage and Erosion Control Plans - 1" = 20' minimum, showing existing and proposed grading (1-foot contour interval), drainage elements and erosion control methods. Site plan should include twenty feet beyond Owner's property line in order to depict relationship to adjacent Lots and Common Areas.
- 4 Floor and Roof Plans - 1/4"= 1'-0", indicate all room dimensions, door and window locations and sizes, location of mechanical and electrical systems and fire sprinkler and monitoring systems. Indicate the location and type of all exterior lighting fixtures, proposed fireplaces, and kitchen appliances. Provide floor plans of all Accessory Structures.
- 5 Elevations - 1/4"= 1'-0", illustrate the exterior appearance of all views labeled in accordance with the site plan. Indicate the highest ridge of the roof, the elevation of each floor, and existing and finished grades for each elevation. Describe all exterior materials, colors, and finishes (walls, roofs, trim, vents, windows, doors, etc.) and locate all exterior lighting fixtures. Indicate proposed Building Height. Provide one set of colored elevations.
- 6 Sections - indicate building walls, floors, interior relationships, finished exterior grades and any other information to clearly describe the interior/exterior relationships of the building as well as the building's relationship to the site.

- 7 Landscape Plans - 1/8"= 1'-0" minimum, including a planting plan, layout plan, irrigation plan, lighting plan, and any site details including retaining walls, landscape structures, pools, patios, fences and or gates. Call out all hardscape materials.
- 8 Sample Board - on 11" x 17" boards as needed:
  - Roof material and color
  - Wall materials and colors
  - Exterior trim material and color
  - Window material and color
  - Exterior door material and color
  - Stone/rock materials
  - Fence/wall materials
  - Exterior rails and paving materials

The DRC will review and comment on the sample board at the Final Design Review. Final approval is contingent upon field mock-ups of all colors and materials at the appropriate time in the construction process and in sizes / context that will allow a clear understanding of the final product. Regardless of previous approvals, the DRC reserves the right to require changes to the field mock-ups if they do not meet the objectives of the Design Guidelines.
- 9 Construction Schedule - include start and completion dates for both building and landscape construction. All construction shall be started within one year of Final Design approval and shall be completed within 18 months from start of construction.

### 3.5.2 FINAL DESIGN REVIEW MEETING

Upon receipt of the required documents, the DRC will notify the Owner of the scheduled meeting date to review the Final Design documents. In some instances, the DRC may request a final staking of the location of all corners of proposed buildings if the Final Design documents vary substantially from approved Preliminary Design documents.

Attendance at the meeting by the Owner and/or Consultant(s) is not mandatory. The DRC will review and comment on the application at the meeting, allow time for discussion with the Owner and/or Consultant(s) (if present), and subsequently provide the Owner with an approval (see Section 3.5.3 below) or conclusive recommendations in writing for refinements to the design. A second review meeting may be necessary to review refinements, revisions and/or new materials. These materials will be provided to the DRC a minimum of five working days prior to the next regularly scheduled meeting.

### 3.5.3 FINAL DESIGN APPROVAL

The DRC will issue Final Design approval in writing within ten working days of a vote for approval at a Final Design Review meeting. If the decision of the DRC is to disapprove the proposal, the DRC shall provide the Owner with a written statement of the basis for such disapproval to assist the Owner in redesigning the project so as to obtain the approval of the DRC.

### 3.6 RESUBMITTAL OF PLANS

In the event that final submittals are not approved by the DRC, the Owner will follow the same procedures for a resubmission as for original submittals. An itemized letter from the Owner shall accompany any resubmittal noting all DRC comments and how each comment has been addressed in the resubmittal. An additional Design Review fee must accompany each resubmission as required by the DRC.

It is possible that the City of Horseshoe Bay may, from time to time, amend its regulations such that they conflict with these Guidelines. It is the Applicant's responsibility to confirm plan consistency with the City and the DRC assumes no responsibility for changes that may be implemented as a result.

In order to be considered for the next scheduled DRC meeting date, plans must be submitted no later than 5 p.m., seven calendar days in advance of the meeting date. The DRC will not generally meet to review comments outside the regular meeting schedule and any decision to do so must be based on compelling extenuating circumstances.

### **3.7 CITY OF HORSESHOE BAY APPROVALS AND OTHER AGENCIES**

The Owner shall apply for all applicable building permits from the City of Horseshoe Bay Planning and Building Department and any other governing agencies after receiving Final Design approval from the DRC. Any adjustments to DRC-approved plans required by City review must be resubmitted to the DRC for review and approval prior to commencing construction. The issuance of any approvals by the DRC implies no corresponding compliance with the legally required demands of other agencies.

### **3.8 SUBSEQUENT CHANGES**

Subsequent construction, landscaping or other changes in the intended Improvements that differ from approved Final Design documents must be submitted in writing to the DRC for review and approval prior to making changes.

### **3.9 WORK IN PROGRESS OBSERVATIONS**

During construction, the DRC will check construction to ensure compliance with approved Final Design documents. If changes or alterations have been found that have not been approved, the DRC will issue a Notice to Comply.

### **3.10 NOTICE TO COMPLY**

When, as a result of a construction observation, the DRC finds changes and/or alterations that have not been approved, the DRC will issue a Notice to Comply within three working days of the observation. The DRC will describe the specific instances of non-compliance and will require the Owner to comply or resolve the discrepancies.

### **3.11 NOTICE OF COMPLETION**

The Owner will provide the DRC with a Notice of Completion of any Improvement(s) given Final Design approval by the DRC. The DRC will make a final inspection of the property within seven working days of notification. The DRC will issue in writing a Notice of Completion within seven working days of observation. If it is found that the work was not done in compliance with the approved Final Design documents, the DRC will issue a Notice to Comply within three working days of observation.

### **3.12 RIGHT OF WAIVER**

The DRC recognizes that each Parcel has its own characteristics and that each Owner has their own individual needs and desires. For this reason, the DRC has the authority to approve deviations from any of the Design Guidelines or Regulations contained within this document. It should be understood, however, that any request to deviate from these Design Guidelines will be evaluated at the sole discretion of the DRC, and that the approval of deviations will be limited to only the most creative design solutions to unique situations. Prior to the DRC approving any deviation from a Design Guideline, it must be demonstrated that the proposal is consistent with the overall objectives of these Design Guidelines and that the deviation will not adversely affect adjoining Parcels or the Community of Skywater as a whole. Approval of any deviation from the Design Guidelines shall not set a precedent for other applicants to seek a similar deviation and shall not be used as justification in requesting a variance from the Design Guidelines. Rather, the request must stand on its own merits and present justification based on unique circumstances and creative design solutions. The DRC also reserves the right to waive any of the procedural steps outlined in this Design Guideline document provided that the Owner demonstrates there is good cause.

### **3.13 NON-LIABILITY**

Neither the DRC nor any member, employee or agent will be liable to any party for any action, or failure to act with respect to any matter.

### 3.14 DESIGN REVIEW SCHEDULE

The DRC will make every reasonable effort to comply with the time schedule for Design Review. However the DRC will not be liable for delays that are caused by circumstances beyond their control, including activity levels which burden the resources of the DRC to review plans and provide comments within a prescribed timeframe. The DRC will provide Design Review according to the following schedule:

- 1 Pre-Design Conference & Concept Design Review Meeting scheduled within 14 working days of receipt of Pre-Design Conference request form.
- 2 Preliminary Design Review
  - Application documents to be submitted 14 working days prior to the next scheduled DRC meeting.
  - Written comments from DRC meeting provided to Owner within seven working days.
  - A second review meeting may be necessary to review corrected and/or new materials. Corrected materials will be provided to the DRC a minimum of five working days prior to the next regularly scheduled meeting.
- 3 Final Design Review
  - Application documents to be submitted 14 working days prior to the next scheduled DRC meeting, and within one year of Preliminary Design approval.
  - Written comments from DRC meeting and/or written notice of Final Design approval provided to Owner within seven working days.
  - A second review meeting may be necessary to review refinements, revisions and/or new materials. These materials will be provided to the DRC a minimum of five working days prior to the next regularly scheduled meeting.
- 4 Building Permits
 

Owner applies to the City of Horseshoe Bay for all applicable building and use permits.
- 5 Construction Observation
  - Site observation with the Builder prior to any site disturbance, and within seven working days of receipt of written request.
  - Foundation staking observation within seven working days of receipt of written request. Property line and building envelope must be staked for this inspection.
  - Framing observation within seven working days of receipt of written request.
  - Final observation within seven working days of receipt of written request and prior to request for a Certificate of Occupancy from the City of Horseshoe Bay.
  - Notice of Completion issued within seven working days of observation.

### **3.15 APPLICATION FEES**

In order to defray the expense of reviewing plans, monitoring construction and related data, and to compensate consulting Architects, Landscape Architects and other professionals, the DRC will establish a total fee which will be payable upon submittal of the application for the Pre-Design Conference or Preliminary Design Review. This fee is subject to revision annually.

Fees for resubmission shall be established by the DRC on a case-by-case basis. This fee is subject to revision annually.

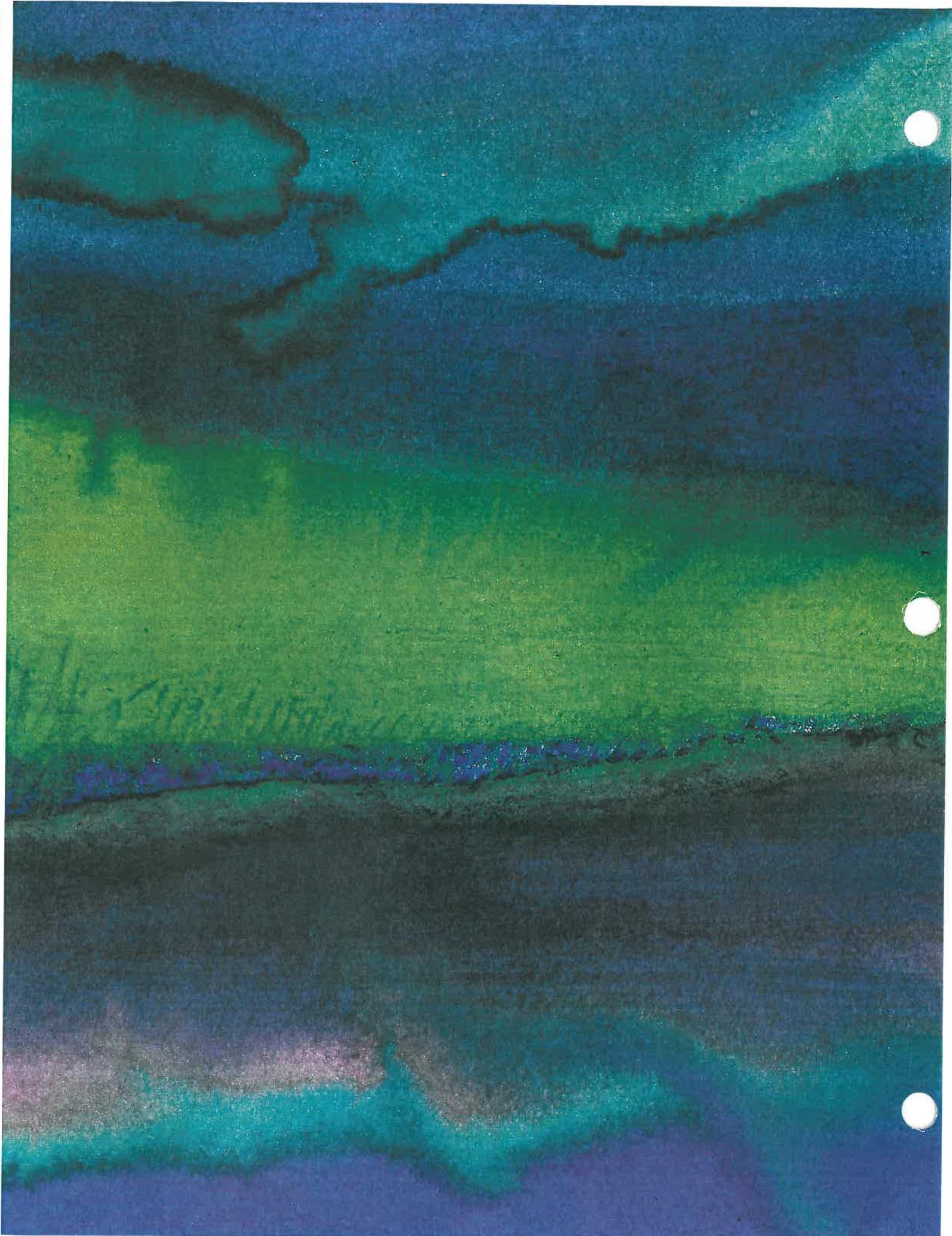
### **3.16 APPLICATION FORMAT**

An application and information package is available from the DRC for each submission. Each submission must be accompanied by the required information, as specified in the application package instructions and these Guidelines in order to be scheduled for review.

Incomplete submissions will not be reviewed and may be returned to the applicant for resubmission. To expedite the Design Review Process, Applications must be complete in order to submit. Applicants will be refunded 50% of the Design Review fee if the DRC does not issue a written approval or disapproval within ten working days of the date the application is reviewed by the DRC.

### **3.17 UNAUTHORIZED IMPROVEMENTS**

Changes or modifications to the exterior of a home or its landscape and/or hardscape without the prior review and approval of the DRC pursuant to these Guidelines is prohibited. Owners may be subject to fines at the discretion of the DRC as approved by the Board of Directors of the Skywater Homeowner's Association for unauthorized improvements. The Owner may apply to the DRC to review and approve the modifications, which the DRC may allow or disallow at its sole discretion subject to these Guidelines. In the event the improvements are disallowed, the Owner shall be required to remove them and restore the property to the pre-existing condition as it was originally approved by the DRC or as subsequently modified.



## chapter 4 site and landscape guidelines

The following chapter outlines Guidelines and standards for all site work relating to the Homesite including grading, planting, siting of structures design of outdoor areas and preservation and enhancement of the surrounding landscape.

## 4.1 SITE AND LANDSCAPE OBJECTIVES

### DESIGN OBJECTIVES

The following are the main objectives for landscape and site design at Skywater:

- To create landscapes that are appropriate to the Texas Hill Country and reinforce the community and architectural image.
- To build upon the developer installed landscape in a high quality manner that creates a unique setting for each Homesite.
- To encourage landscape designs for homes along the golf course that create a seamless transition from the golf course landscape and Common Areas to more intimate landscapes of the Homeowners' private gardens.
- To create outdoor spaces that are natural extensions of the indoor spaces.
- To design outdoor spaces that ameliorate the climate by providing shade, shadow, texture and capturing breezes.
- To utilize plants, landscape structures and details that draw upon the region's heritage and respond to the unique climate and setting.

## 4.2 LOT DIAGRAMS

A Lot Diagram has been prepared for each Lot which describes the unique attributes of that Lot and indicates important design parameters such as, but not limited to: Building Envelope areas, planting accent areas, easement areas, special restrictions and suggested driveway access. SEE FIGURE 4.1 – LOT DIAGRAM.

Lot numbers and layout are designated on the Community Plan and Lot Diagrams that correspond to the Plan are available at The DRC Office. Building Envelope locations were determined based on the specific characteristics of each Lot and on the planning and design objectives for the Skywater Community, specifically:

- maximizing privacy;
- maximizing short and long range views;
- protecting and enhancing the desert landscape;
- preserving the dominance of the natural or introduced landscape by siting buildings where they will blend into the site.

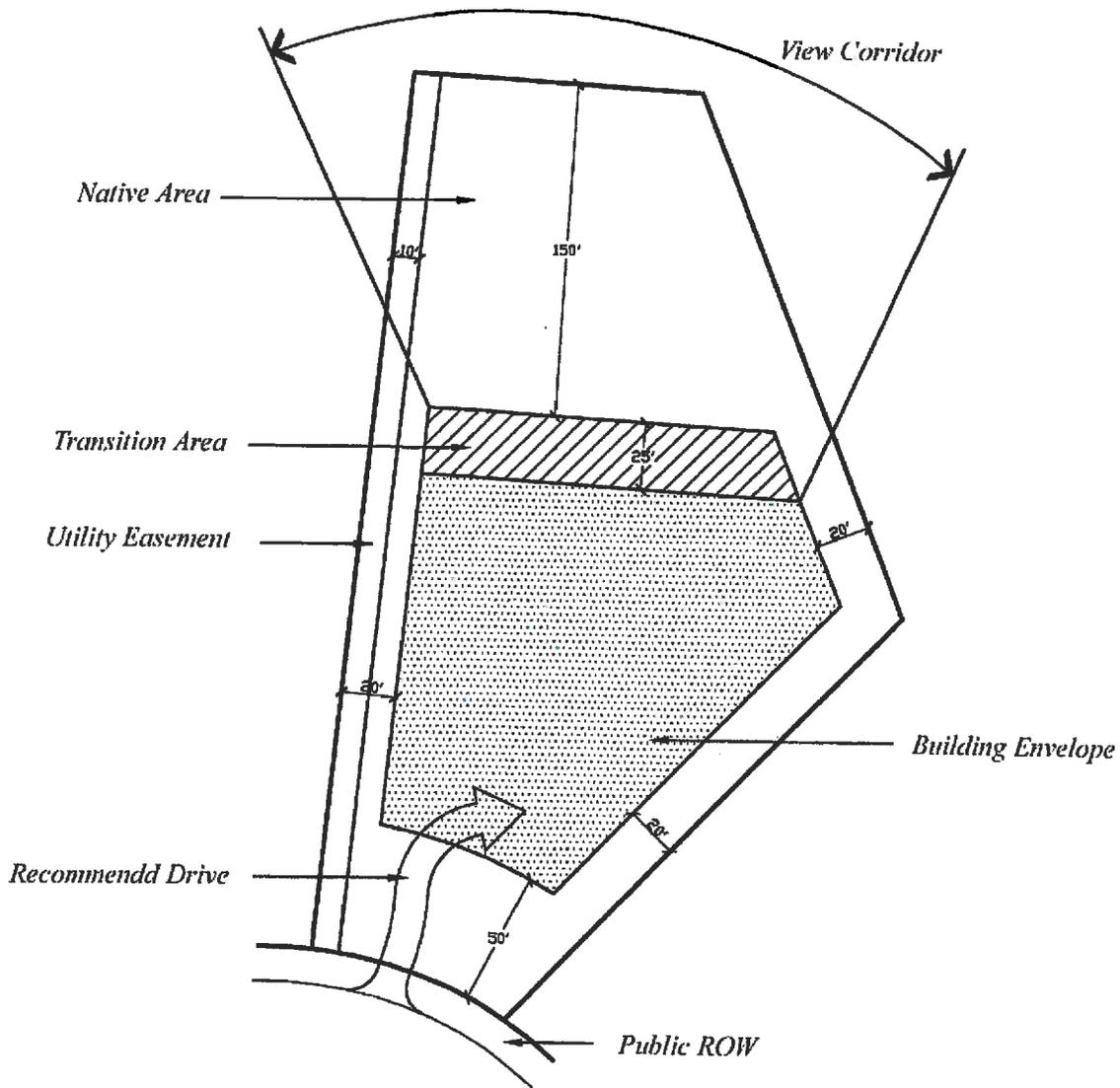
Each Lot Diagram consists of:

The Building Envelope, which is that portion of the Lot where all Improvements must take place. The Building Envelope consists of a Private Area where buildings, other vertical structures and landscape Improvements may occur and a Transition Area where only landscape or horizontal Improvements (patios, pools, paths, etc.) may occur. The Building Envelope is more fully described in Section 4.3.

The Natural Area, which is that portion of the Lot that lies outside of the Building Envelope and is to be landscaped in accordance with these Guidelines or, if already landscaped, protected. Portions of the Natural Area may have been landscaped by the Developer as part of the golf course, slope areas or streetscape. It is the intent that these landscaped areas are preserved or enhanced and the Homeowners' landscapes are blended into the golf course, slope or streetscape planting concept.

(Opposite) Figure 4.1  
– Lot Diagram

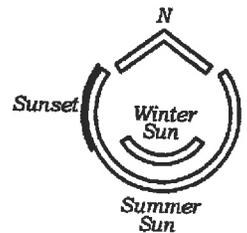

**SKYWATER**  
*Lot 17*



**LEGEND**

February 2007

 Private Area	 Building Envelope
 Natural Area	 Property Line
 Association Easement	 Drainage Easement
 Transition Area	



Lot Area: 1.18 Acres  
 Building Envelope Area: 18,196 S.F.  
 Suggested Finished Floor: 1000 Ft.

*The locations of the Envelope and other physical structures and height of the pad elevation depicted on this diagram are approximations. Purchasers are advised to verify the same and other site conditions prior to commencing construction by obtaining a survey from a registered surveyor.*

### 4.3 BUILDING ENVELOPES

Building Envelopes have been established for all Lots to ensure that every home is sited to maximize Hill Country and golf views, minimize impacts to the site, maintain the privacy of adjacent Lots and preserve the golf experience. Building Envelopes are areas designated on the Lot Diagrams within which all Improvements on the Lot (except utility connections, some landscape, drainage work and driveways) must take place. SEE FIGURE 4.2 – SECTION THROUGH HOMESITE.

Building Envelopes comply with zoning setback criteria and respond to natural features such as topography and view orientation. Creative site planning and architectural design solutions that do not parallel or delineate property or setback lines are encouraged. The DRC will consider, on a case by case basis, adjustments to the Building Envelope if the benefits of such an adjustment to the Homeowners and Skywater are demonstrated.

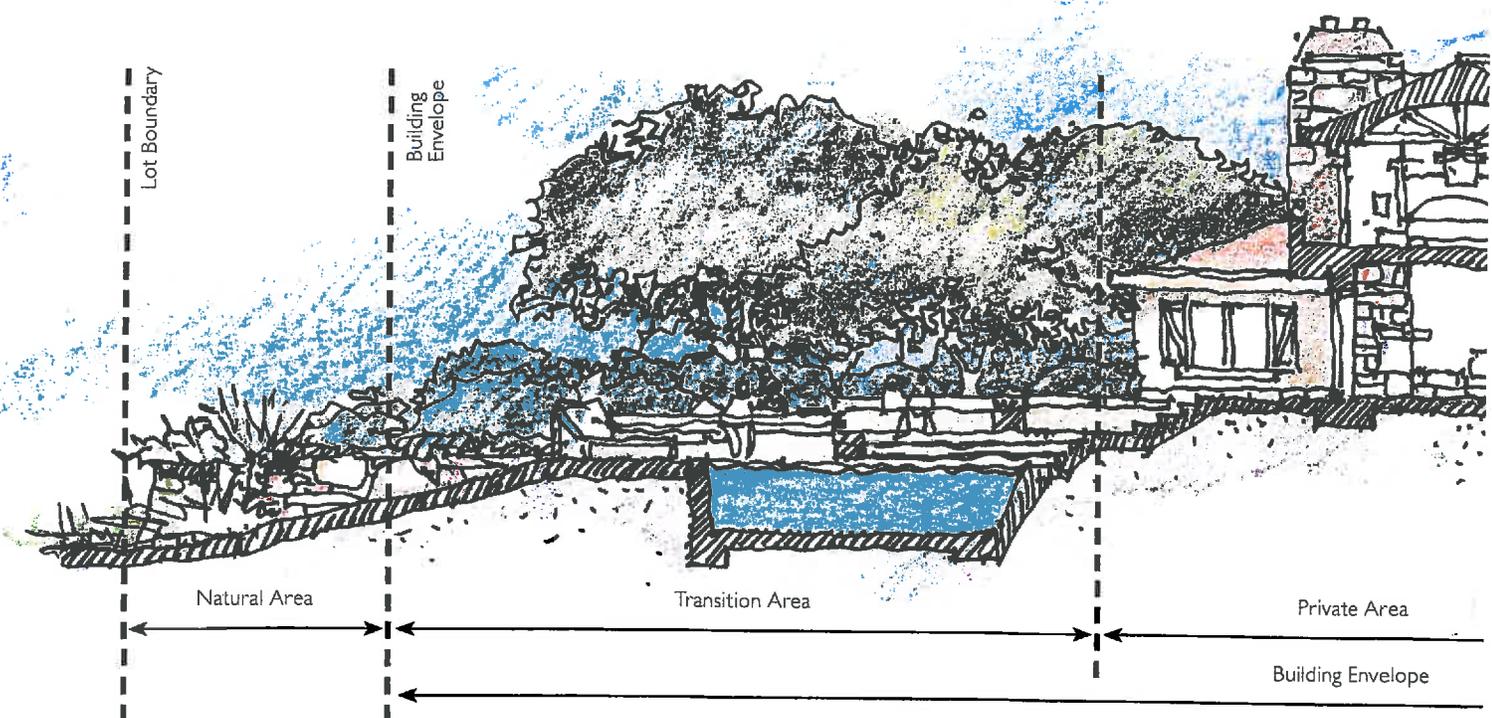
Digital base plan files indicating property lines, topographic information, Lot Diagrams and utility information are available from the Skywater Development Office. These are offered only as a convenience to owners and their design team and are not a substitute for a certified survey. Owners are required to obtain a certified survey prior to beginning design work.

The Building Envelope is made up of two areas, the Private Area and the Transition Area, as described below.

#### 4.3.1 PRIVATE AREA

The Private Area is that portion of the Building Envelope which includes buildings and outdoor private spaces. The buildings within the Private Area must conform to the maximum Building Height requirements set forth in these. Most of the landscape within this area is not visible from neighboring Lots, the golf course or the street because it is screened by privacy walls, buildings and/or other landscape elements.

Figure 4.2 –  
Section Through Homesite



Within this area, the Owner has more flexibility in creating a more ornamental and personal landscape. All plant materials must be selected from the Approved Plant List in Appendix B and be in accordance with any applicable regulations, including those of the City of Horseshoe Bay or appropriate agency.

#### 4.3.2 TRANSITION AREA

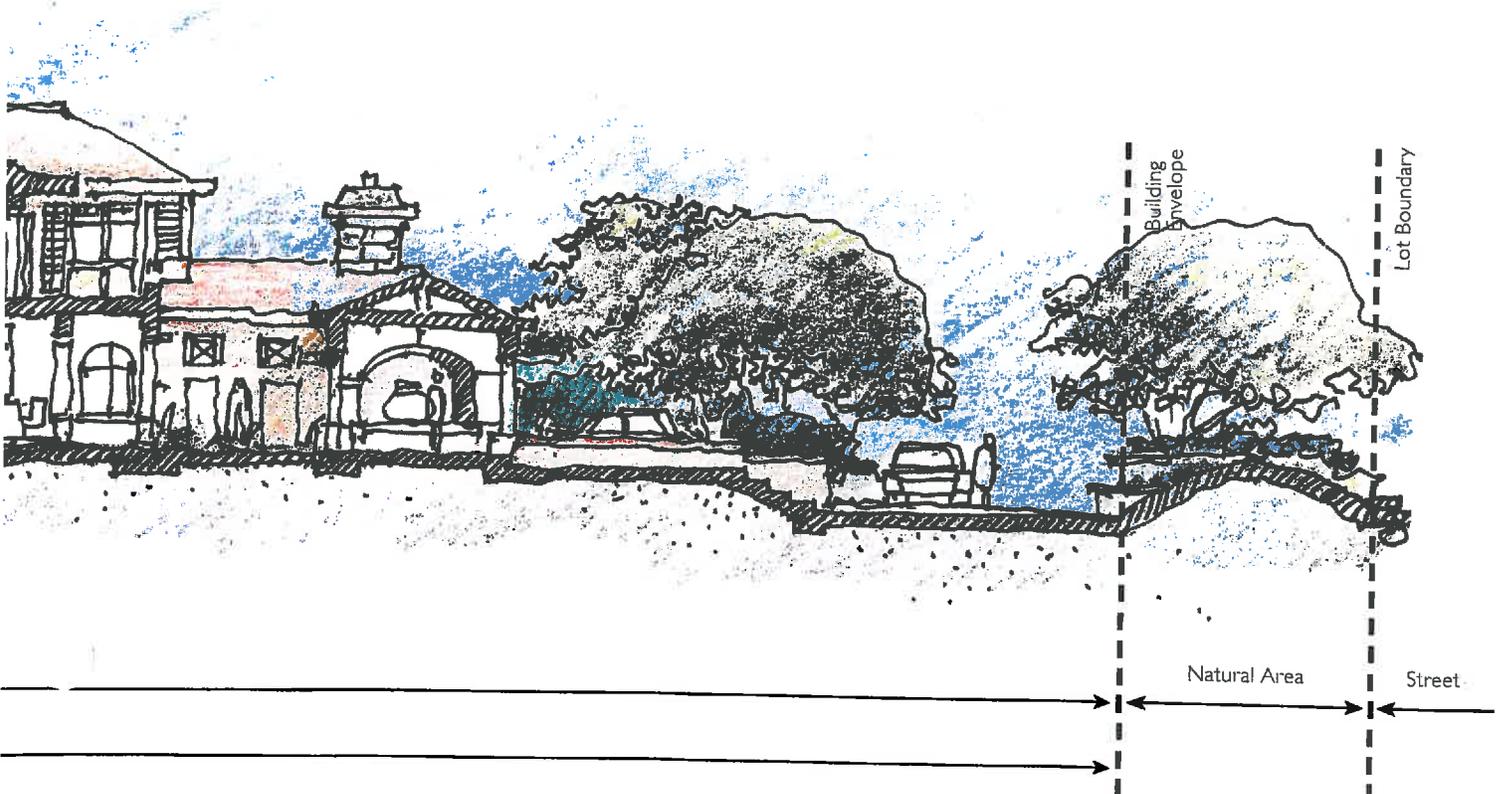
The Transition Area is located within the Building Envelope and is visible from the golf course, Common Areas, streets and neighboring Lots and is adjacent to the Natural Area. No vertical structures may be located in the Transition Area. Pools, low retaining walls and/or freestanding walls (maximum 5-foot height in front/street transition areas, and a maximum 6-foot height in side yard transition areas), patios, spas, outdoor barbecues, new plantings or other horizontal landscape improvements shall be allowed. Landscape structures (such as trellises and/or arbors, etc.) and walls higher than those described above, or landscape that has the potential to block views, are prohibited.

#### 4.3.3 THE NATURAL AREA

The Natural Area is that portion of the Lot that lies outside the Building Envelope and must be landscaped in accordance with these Guidelines or preserved in the state created by the Community Developer. Minimal grading for driveway access, utilities, tie-in grading and to accommodate drainage is allowed within the Natural Area. In some cases, the Developer has landscaped portions of the Natural Area on individual Lots and has established a maintenance easement to maintain this landscape. This existing landscape must be protected and Designers are encouraged to extend this landscape up to and/or into the Transition Area of the Building Envelope.

### 4.4 CITY OF HORSESHOE BAY SPECIFIC PLAN COMPLIANCE

Owners are responsible for conformance to all regulations within the City of Horseshoe Bay. The DRC is not responsible for inadvertently approving an Owner's plan that is not in conformance with the Specific Plan for the Skywater Community.



#### 4.5 COMBINING LOTS

In cases where the Owner owns two or more contiguous Lots and wants to combine two or more Lots into a single Lot, the Owner must receive the consent of the City of Horseshoe Bay and the DRC. A revised Building Envelope will be prepared by the DRC with input from the Owner and their Consultants. The total dimension of the side yard setback of the revised Building Envelope will be equal to or greater than the sum of the side yard setbacks of the uncombined Lots. Additionally, the new Building Envelope area resulting from combining the Lots shall not exceed the sum of the Building Envelope areas of the uncombined Lots. The revised Building Envelope shall be approved by the DRC prior to submitting the plans for review to the City of Horseshoe Bay. Following approval by the DRC, any required regulatory approvals from the City will be the responsibility of the Owner.

The DRC will carefully review issues relating to Building Mass and scale when reviewing a home on combined Lots. Owners and their design team are encouraged to be sensitive to these important issues when preparing their applications.

#### 4.6 BUILDING COVERAGE, MINIMUM FLOOR AREA AND MAXIMUM FLOOR AREA (R-1)

In no case shall Building Coverage, exclusive of driveways, decks, balconies, or overhangs, exceed 35% of the total Lot area. Minimum Floor Areas for interior air-conditioned space will be 2,500 square feet pursuant to the Zoning Ordinance. Although there is no floor area maximum, the DRC will be reviewing applications to ensure that all Improvements are appropriately scaled to the Lot and surrounding Landscape. Accordingly, homes larger than 6,000 square feet, including garages but excluding non air conditioned "outdoor rooms," must be split into multiple building masses per the massing section in Chapter 5. For Floor Area and Building Coverage definitions, refer to Appendix A - Definitions.

#### 4.7 ICON AND SIGNATURE LOTS

Due to their location in the community, size or elevation, certain lots have the potential to have a significant visual impact when viewed from the golf course or other Common Areas. These lots have been identified as Icon or Signature Lots and are identified on their Lot Diagram. Accordingly, special design requirements are placed upon these lots as described below. Owners and their design consultants are required to discuss an Icon or Signature Lot with the DRC prior to proceeding with design and shall identify the Icon or Signature Lot designation in their application.

##### 4.7.1 ICON LOTS

Icon Lots may have one or more of the following special design considerations.

**Enhanced Landscaping:** Certain lots having side or front yards facing Common Areas and are required to install additional landscape in an effort to soften the building elevation. Planting a greater number of larger trees, along with massing of shrubs for privacy, would satisfy this goal.

**Color:** A Community-wide objective of these guidelines is to create homes that rest discreetly in their setting, allowing the landscape to dominate the scene. An important design tool in achieving that goal is the use of recessive colors. Accordingly, certain Icon Lots are required to use colors with a maximum LRV of 40.

**Enhanced Architectural Treatments:** Though these Guidelines require four-sided architecture, certain Icon Lots will require their design teams to pay particular attention to the building elevations facing the golf course or Common Areas. These elevations should exhibit eclectic, handcrafted details reflective of the homes' architectural style.

Although Icon Lots are not restricted from having a second story, single story homes for Icon Lots on axis with golf green approach shots are strongly suggested, enhancing the golf experience.

#### 4.7.2 SIGNATURE LOTS

Signature Lots are Homesites that, as a result of their relationship to the golf course and other Homesites, are required to have wall colors with a maximum LRV of 40 and roof colors with a maximum LRV of 35. Refer to Appendix F - Lot Summary Table for Lot specific information.

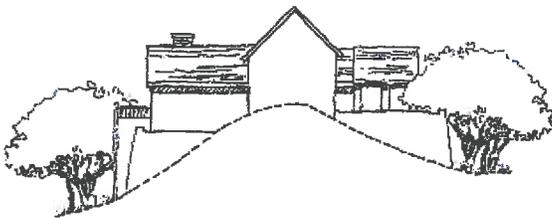
#### 4.8 GRADING AND DRAINAGE

##### GRADING AND DRAINAGE OBJECTIVES

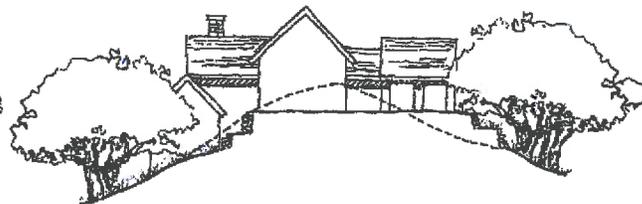
- To blend new Lot Improvements with adjacent Common Area, slope grading or golf course landforms or existing topography.
- To ensure drainage Improvements are compatible with adjacent Lots or landforms.
- To create appropriate landforms as a setting for the building Improvements.

##### GRADING AND DRAINAGE GUIDELINES

- All Cuts, Fills and retaining walls must create smooth transitions at top and bottom of slopes and appear to be extensions of natural landforms. In general, finished slopes shall mimic the gently rolling topography of the golf course or Natural Areas. Long, straight landforms shall be avoided, while rounded flowing forms are encouraged.
- Building Pad elevations may not be raised, but may be lowered a maximum of 2-feet to provide better views to foreground landscape and the golf course. Changes in pad elevation must be approved by the Horseshoe Bay Design Review Committee and it is the Owner's responsibility to obtain this approval prior to Final Design Review. The DRC will scrutinize any proposal to lower pad elevations, in particular as it relates to tie-in grading at the Natural Area, golf course or adjacent Lots. If the Building Pad elevation is lowered, the Building Height shall be determined from the new lowered Building Pad elevation for those portions of the building located on the new lowered pad.
- Grading operations shall not cause any on- or off- site erosion, even during construction.
- Grading at the outer edges of individual Lots shall not result in abrupt transitions to adjacent landforms, Lots or streets.
- Slopes shall not exceed 3:1 unless it can be demonstrated that a steeper slope will result in a more appropriate design solution. When 3:1 slopes are used, their visibility shall be minimized and have a landscape treatment that helps mitigate the abrupt visual character of the slope. Contour grading is to be used instead of structures wherever feasible.
- All grading shall be completed within the Building Envelope and shall not impose off-site drainage onto adjacent Lots.
- Cut and Fill slopes are to be landscaped and restored with plant materials that blend with the surrounding landscapes. Landscaping of these slopes shall be completed as soon as possible and erosion control measures required by the LCRA shall be implemented upon initiation of grading.
- In general, Cut and Fill quantities from grading operations shall balance on site.
- In general, grading within Association Easements is prohibited with the exception of minor "tie-in" grading. The DRC reserves the right to require field directed revisions to ensure that the final product meets the high Community expectation and standard.



Undesirable ridge grading results in buildings that are out of scale with the surrounding tree canopies and excessively tall retaining walls.



Preferred ridge techniques include stepped building masses, terraced retaining walls and balanced cut and fill.

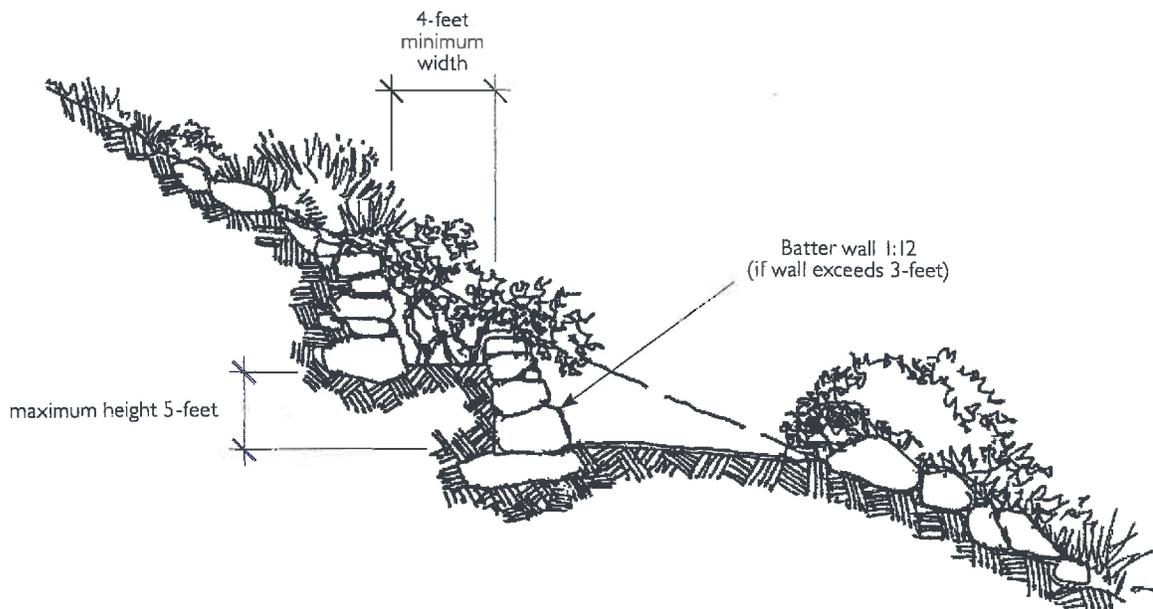
#### 4.8.1 RETAINING WALL GUIDELINES

- The maximum height of retaining walls within the Private Area is 6-feet as measured from the lowest finished grade level to the top of the wall. The maximum height for walls within the Transition Area is 3-feet, unless the wall is a side yard privacy wall, utility enclosure wall or auto-court screening wall. Retaining walls include any wall that retains earth 2-feet or more in depth. Retaining walls shall be built to extend and/or blend with the existing topography. SEE FIGURE 4.3 – RETAINING WALL DESIGN.
- Where grade changes exceed 6-feet, stepped-back or terraced wall structures with planting terraces (4-foot minimum width) are to be used. In extraordinary circumstances, higher retaining wall heights may be allowed if it can be demonstrated that such a solution has no adverse impact to neighboring Lots or Common Areas and it causes less disturbance to existing topography or landscaping.
- Acceptable materials for retaining walls include masonry block with stucco, real stone and heavily textured masonry block. If stone is used, a pattern consistent with

the architectural style of the home, and structural in appearance, is required. Thin stone veneers that are not structural in appearance are unacceptable.

- Stone or stone-faced walls are to be designed with a 1:12 batter if the overall wall height exceeds 3-feet.
- The tops of walls are to be shaped to blend with natural contours. Ends of walls shall not be abrupt, but are to be designed to create natural-looking transitions with the existing landforms and vegetation.
- In general, retaining walls facing the golf course, street or other Common Areas may not delineate or parallel Building Envelope boundaries or property lines for more than a 25-foot long distance without a vertical and horizontal offset. Walls are to utilize multiple vertical and horizontal offsets that step with the site's topography and house design. All walls shall utilize a minimum vertical offset of 8-inches and a minimum horizontal offset of 16-inches. The horizontal separation between vertical offsets shall be a minimum of 24-inches. Exceptions may be granted by the DRC if the DRC determines that such offsets are aesthetically desirable in the context of a particular submittal. Retaining walls along stairs are excluded from these Guidelines.
- In general, retaining walls over 3-feet in height facing the golf course are strongly discouraged.

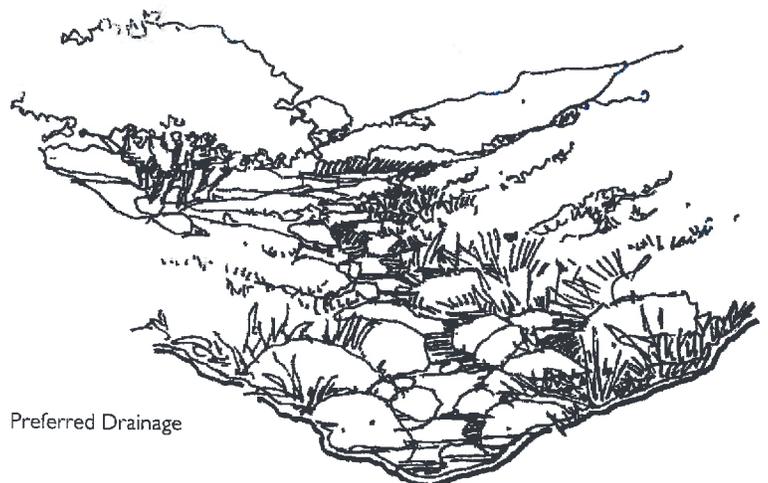
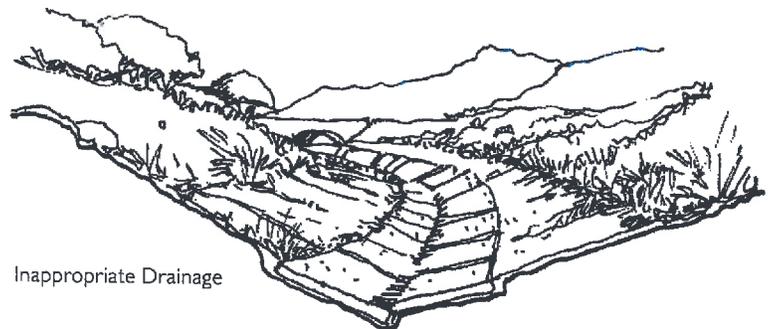
Figure 4.3 –  
 Retaining Wall Design



#### 4.8.2 DRAINAGE GUIDELINES

- In general, increased water flows on Lots shall be detained on-site and directed into improved grass buffers and channels that detain water and encourage percolation. The historical entry and exit of water and flow rate on a Lot must be maintained. Drainage from impervious surfaces may not be directly dispersed off the Lot.
- Care must be taken to avoid introducing sediment or construction debris into the Community storm drain system. The approved tie-in to the Community system shall be deferred until the completion of the Site Improvements and landscaping, and shall be inspected by the DRC during the final observation. The owner may be responsible for any damage to the storm drain system that results from the builder's failure to take proper precautions (LCRA guidelines are to be followed).
- No changes shall be made to the natural or existing drainage patterns on any Lot that could cause an adverse effect upon another Owner. No cross Lot drainage is allowed.
- Drainage design shall reduce erosion, runoff, and adverse impacts to water quality.
- Improved channels or drainage Improvements are to be designed to appear and function like natural drainage ways. SEE FIGURE 4.4 – DRAINAGE DESIGN.
- Materials and sizes for all culverts, visible drainage structures and driveways are to be approved by the DRC. Concrete culverts shall be utilized rather than metal or plastic.
- The ends of culverts shall be blended into the landscape by utilizing boulders, planting and/or painting the interior of the culvert black.
- When appropriate, gutters and downspouts will direct drainage from the roofs to on-site drainage collection areas. In no event shall gutters and/or downspouts drain onto adjoining Lots. Rainwater harvesting for irrigation is encouraged.
- In general, when utilizing rip-rap treatments for erosion control the following Guidelines shall be followed to create a more natural looking drainageway:
  - Stone may only be used in a color which is natural looking and blends with other stone within the Golf Course or Natural Areas.
  - Utilize stones that are a variety of shapes and sizes and are indigenous to the area. Rounded stones (such as river rock) may not be used.
  - Locate splash bowl or stone splash block at downspout or scupper locations to dissipate the energy of the water.
  - Slopes shall not look "engineered" or abrupt. Drainageways or rip-rap areas shall be further blended into the topography by covering the rock with 6-inches of native soil and revegetated.
  - Alignments of rip-rap treatments shall utilize meandering rather than straight alignments and slowly "bleed" out to the Transition or Natural Areas by utilizing bigger spaces between stones and smaller stones on the edges.
- Grading and drainage must meet the LCRA - Highland Lakes Stormwater Runoff Ordinance and may be required to be permitted.

Figure 4.4 –  
Drainage Design



## 4.9 DRIVEWAYS AND AUTO COURTS

### OBJECTIVES

- To minimize visibility of paved areas from neighboring Lots through careful siting, grading and use of architectural devices and landscape.
- To blend driveways into the natural terrain so that grading is minimized.
- To create "auto courts" for parking and garage areas through the use of special paving, architectural devices, plantings and/or walls.
- To minimize the quantity of paving in front setback or Transition areas.

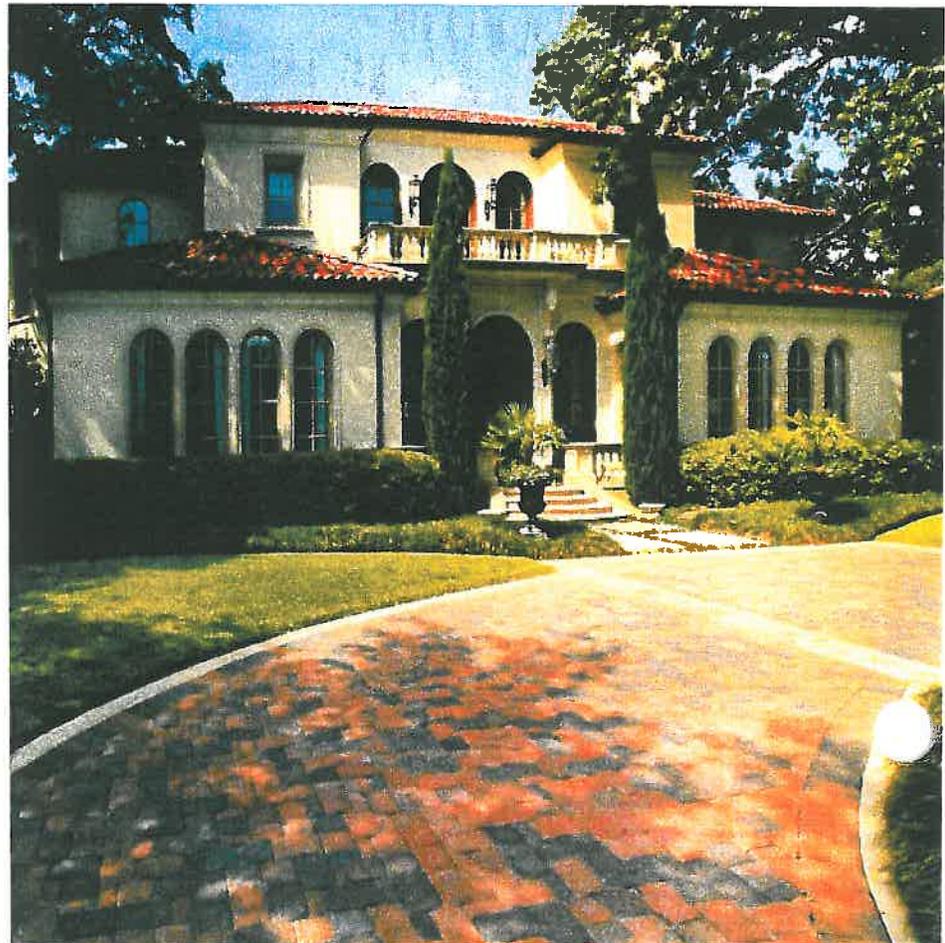
SEE FIGURE 4.5 – DRIVEWAY DESIGN.

### GUIDELINES

- All driveways are to follow alignments that minimize grading or other disruption to the site. The driveway-parking-garage layouts are to minimize the visibility of the garage doors, driveways and off-street parking from the street, Common Areas and adjoining Lots.
- Only one driveway entry will be permitted for each Lot. A suggested driveway access point is indicated on the Lot Diagram. Alternate locations may be approved by the DRC if the applicant demonstrates that such a relocation furthers the objectives of the Skywater Community.
- Approved materials for driveways and auto courts include colored and patterned concrete, precast concrete pavers, stone, brick, cobble, and/or decomposed granite with or without concrete and/or stone, cobble or brick edge detailing.
- Coloring and texturing of concrete is required. Colors of finish paving materials shall complement proposed buildings and integrate well with the surrounding earth tone colors. No smooth or broom finishes will be allowed (only seeded or washed, exposed textures).
- Driveway paving shall match or be similar in style and/or color to paving used for other outdoor areas such as terraces and/or stairs.
- Maximum gradients on driveways shall be 12% or as directed by Fire Department regulations.



(This page) Figure 4.5  
– Driveway Design



- Generally, driveways shall be a maximum of 12-feet wide, except at curb line where they may flare to 14-feet wide but must transition to 12-feet within 15-feet from the curb. The 12-foot width must be maintained throughout the Transition Areas to the Building Envelope. As an alternative, driveways may remain 14-feet wide if the Ribbon type driveway detail is used.
- The quantity of hardscape in the auto court shall provide ample space for easy turning movements and vehicular parking. Excessive paving that impacts the surrounding landscape areas is discouraged.
- Refer to Walls, Fence and Gate section for further requirements.

#### 4.9.1 SHARED DRIVEWAYS

In an effort to minimize visual impacts along the some neighborhood drives and other areas, some Lots will gain access from a shared drive. Homeowners gaining access from the shared driveway shall be responsible for maintenance with reciprocal access and maintenance easements recorded over the driveway.

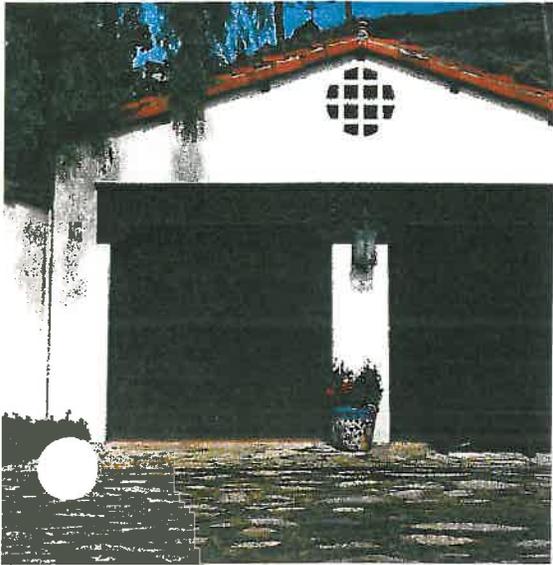
#### 4.10 GARAGES AND PARKING

##### OBJECTIVES

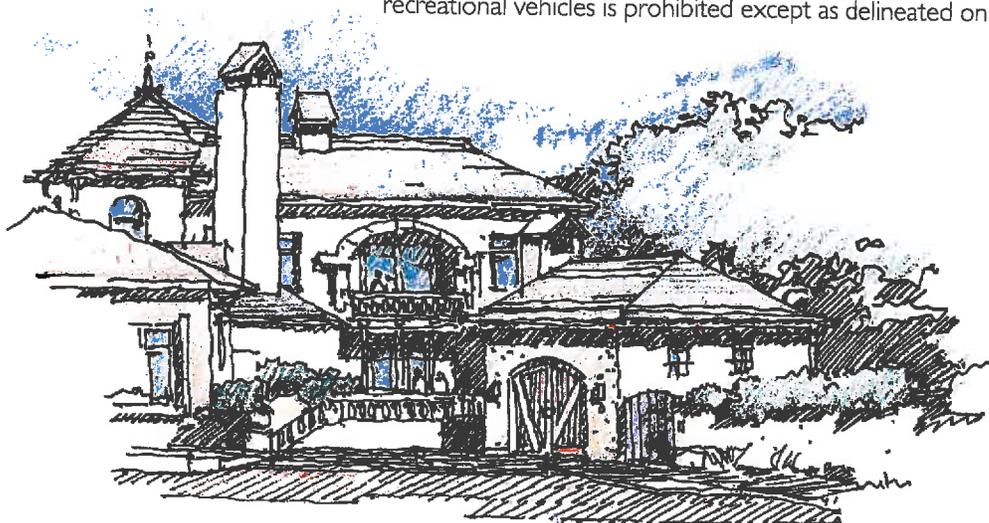
- To minimize visibility of parking areas through planting, architectural projections and careful siting of garages. SEE FIGURE 4.6 – GARAGE DESIGN.
- To accommodate all parking needs for the Residence on the Lot.

##### GUIDELINES

- All Lots shall include an enclosed garage that can accommodate a minimum of two cars. Golf cart storage is encouraged to be included within the two-car garage or have a separate entry/garage.
- Guest parking - Each Lot shall contain a minimum of two additional guest parking spaces (in addition to the required two enclosed spaces). Unenclosed spaces must utilize a combination of plantings and/or low walls (a maximum of 5-feet) to screen cars from view. At least one of the unenclosed guest spaces cannot impede full access to the garage. All guest parking areas and garages shall occur within the Building Envelope.
- Vehicular parking spaces shall have a minimum dimension of 9-feet by 20-feet.
- A minimum of 24-feet of back-up space is required.
- Garages must be sited and located so that visibility from the street is minimized. Side entry garages are required on all lots unless otherwise noted on the Lot Diagram. Separating a three-car garage into two to three openings (one single car and one two-car garage minimum) is required.
- Recessed (minimum of 12-inches) garage doors and single stall door openings are required.
- The use of carports is discouraged.
- No permanent or overnight on-street parking for vehicles is permitted.
- On-Lot or on-street parking of boats, trailers, RVs or similar types of secondary recreational vehicles is prohibited except as delineated on the Lot Diagram.



(This page) Figure 4.6 – Garage Design





## 4.II COURTYARDS, TERRACES, PATHS AND OUTDOOR STAIRS

### OBJECTIVES

- To create outdoor spaces that ameliorate the climate through the use of plantings, walls, architectural devices and/or landscape structures.
- To utilize materials that complement the architecture and materials of the building.
- To create outdoor "rooms" which are natural extensions of the indoor rooms of the Residence.

### GUIDELINES

- The spatial organization of the Residence as well as the organization of the outdoor spaces is to be designed as one unified whole. The demarcation line between indoors and outdoors is to be blurred.
- All paths, outdoor stairs and terraces are to be located within the Building Envelope.
- The use of natural materials such as stone, tile and/or decomposed granite is encouraged. Concrete may be used provided it is colored and textured to complement the Residence.
- Extending flooring materials from the inside of the Residence to the outdoor spaces is encouraged.
- The use of architectural devices such as courtyards, arcades, trellises and/or porches to help create a gradual transition from indoors to outdoors is strongly encouraged.
- Designs shall minimize the use of several different types of paving materials in order to produce an understated, unified design.



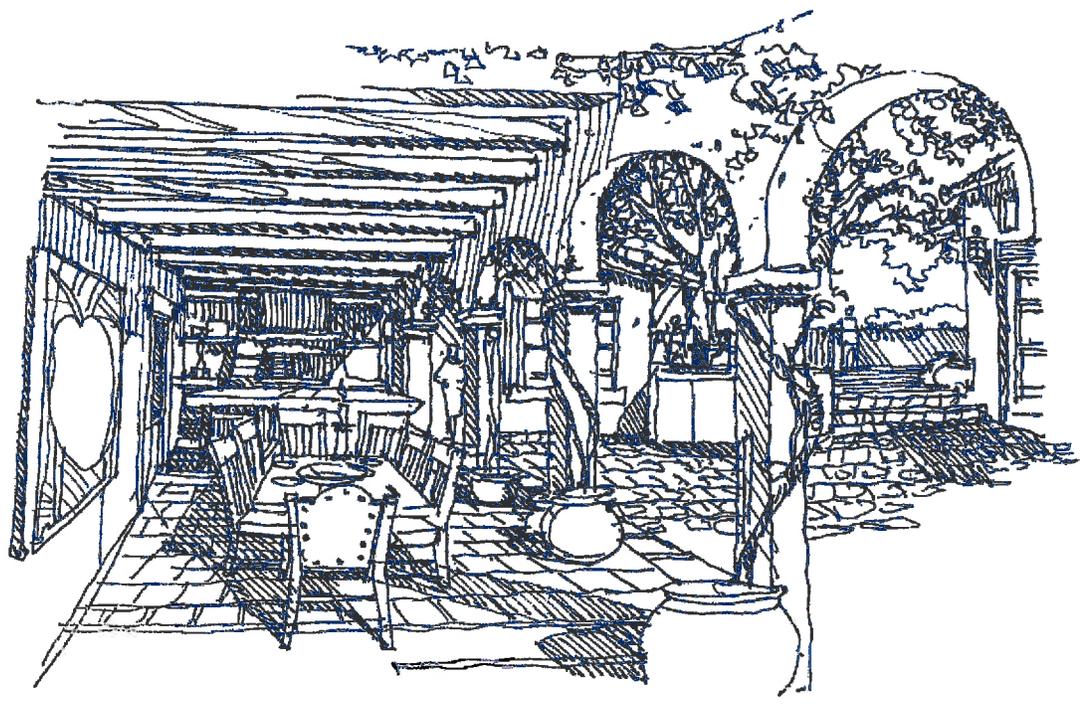


Figure 4.7 – Wall as an Extension of the Architecture



## 4.12 WALLS, FENCES AND GATES

### OBJECTIVES

- To construct walls, fences and gates which borrow from the regional building traditions.
- To design walls, fences and gates that are related to and are natural extensions of the buildings.
- To achieve privacy through berming, low walls and careful building and planting design, thereby minimizing the need for higher privacy walls and fences.

### GUIDELINES

- Walls, in general, shall be a maximum height of 6-feet. It is encouraged that wall heights are as low as possible to achieve privacy and preserve views and the visual character of the Community. Wall designs shall be extensions of the architecture of the building. **SEE FIGURE 4.7 – WALL AS AN EXTENSION OF THE ARCHITECTURE.**
- Whenever possible walls shall not define property lines and/or Building Envelopes. Privacy walls at property lines are to be used only where landscape solutions will not provide adequate privacy. Low walls and landscape may be used to define Private Areas of the Lot. Walls shall occur inside property lines unless contiguous Owners agree on design and cost sharing.
- On the golf course side of the Lot, privacy walls and fences shall not extend past the Transition Area so that oblique views from adjacent Lots are preserved. See-through fences or low hedges may be allowed in this area if they do not obstruct oblique views.

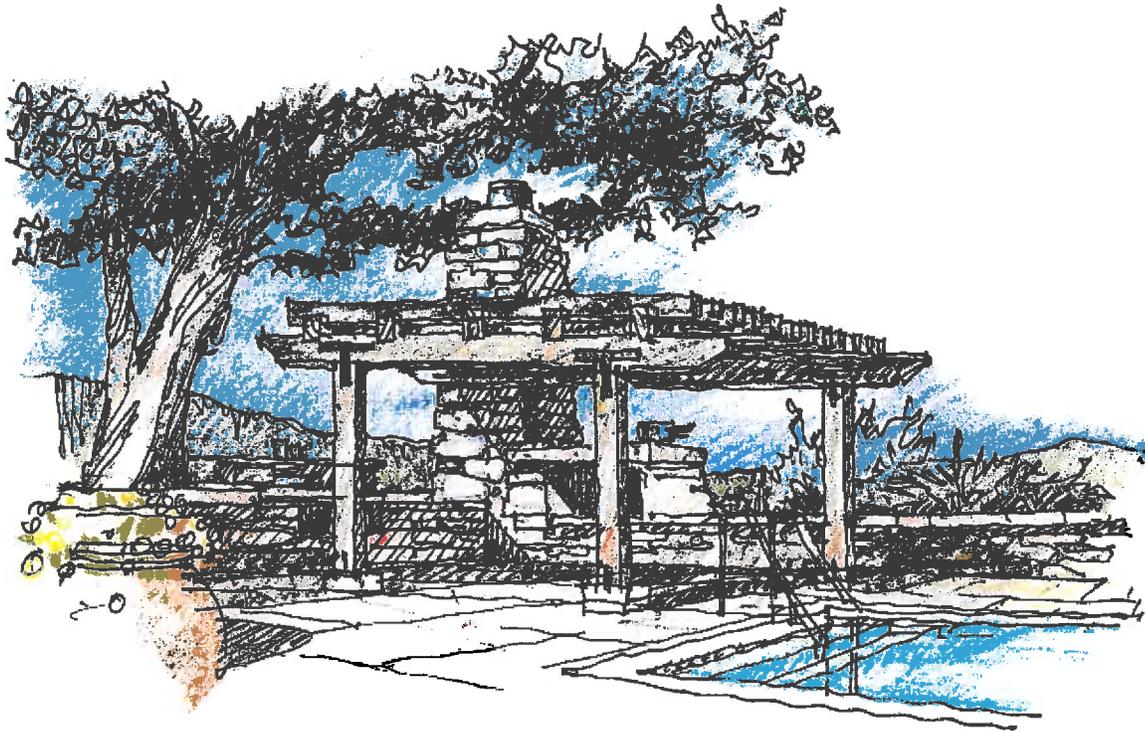
- Depending upon the architectural style of the home, the DRC may require that the ends of walls incorporate decorative terminus details and not end abruptly.
- Approved wall materials include plaster or stucco finishes, adobe, architectural concrete, and/or stone. The minimum thickness of walls shall be 6-inches.
- Site walls that are visible from the golf course, street or Common Areas shall use the Skywater signature stone and shall incorporate multiple offsets and vertical variation to avoid long straight lines in the landscape. All such visible walls shall utilize a minimum vertical offset of 8-inches and a maximum vertical offset of 16-inches. The horizontal separation between vertical offsets shall be a minimum of 24-inches. This Guideline does not apply to walls along stairs or privacy walls on property lines that are not visible from the golf course, street or Common Areas.
- Fencing is to be limited to the Transition Area, a 10-foot offset from the property line, and from the midpoint of the lot to the rear property line.
- Vinyl clad cyclone, and/or open grid metal fencing will not be permitted.
- "View" fences are encouraged to preserve the openness of the Community landscape. These fences may utilize an open metal picket or designs which are, in general, "see-through" and frame rather than block views of the Community landscape beyond. **SEE FIGURE 4.8 – VIEW FENCE.**
- Wall and fence designs shall be designed to be compatible with walls and fences on adjacent Lots and/or Common Areas. If existing walls/fences about the applicant's property, these must be shown on the applicant's survey, site and landscape plans.
- Vehicle entry gates and/or entry columns must be located within the Building Envelope. Gates and columns shall be designed in an understated way and not make a design statement when viewed from the street, Common Areas or neighboring Lots. **SEE FIGURE 4.9 – VEHICLE ENTRY GATES.**
- Pool security fencing shall meet the requirements of the City of Horseshoe Bay. Utilizing grade changes in conjunction with fencing to meet these requirements is encouraged.
- Fencing or walls along the golf course boundary or facing the golf course is prohibited.



Figure 4.8 – View Fence



Figure 4.9 – Vehicle Entry Gates



### 4.13 LANDSCAPE STRUCTURES

#### OBJECTIVES

- To design landscape structures that appear as extensions and/or additional building components of the main Residence.
- To incorporate landscape structures which help to ameliorate the climate and create shade, shadow and texture.
- To create a "ceiling" plane for outdoor spaces.

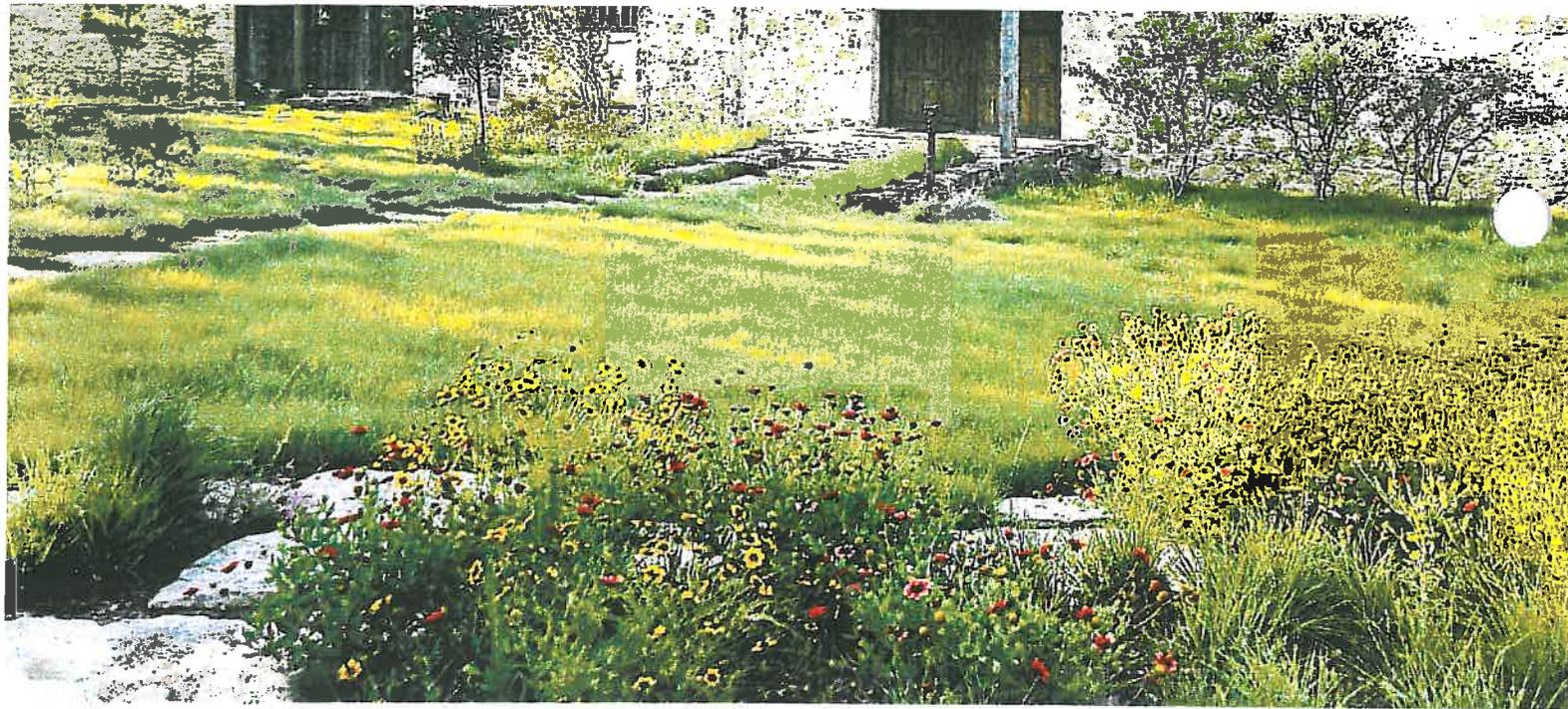
#### GUIDELINES

- Landscape structures such as arbors, porches, greenhouses and/or decks must be located within the Private Area of the Building Envelope.
- The height, color, materials and style used for outdoor structures are to be the same or similar to the Residence. Heavy wood timbers, if used for rafters, posts or trellis elements, must be substantial in dimension and treated with stain or paint to withstand the effects of climate.



- Landscape structures are to be visually subordinate to the main Residence. Accordingly, the height and visual mass of an outdoor structure shall be substantially less than that of the main Residence. SEE FIGURE 4.10 – TRELLIS DESIGN.
- In general, the same Guidelines that apply to architecture apply to the design of the landscape structures.

(Both Pages) Figure 4.10 – Trellis Design



#### 4.14 LANDSCAPE PLANTING

##### OBJECTIVES

- To establish a gradual landscape transition from the more intensive landscape areas around the building to the golf course or Common Areas.
- To assist in melding buildings with the site.
- To utilize plant materials to define outdoor rooms, frame views, create privacy and/or provide landscape focal points.
- To utilize landscape techniques and plant materials that are sensitive to water conservation.
- To utilize appropriate plant materials and designs that maintain views from adjacent Lots or Common Areas.

SEE FIGURE 4.11 – PLANTING DESIGN CONCEPTS.

##### 4.14.1 GENERAL PLANTING GUIDELINES

- In general, the planting design of the Lot shall take its cue from the adjacent golf course or Common Area landscape.
- Plant materials are to be used to help to complete structures and provide shade, texture or a focal point for outdoor rooms. Shrubs may be used as informal low walls and trees may be used to provide scale for building masses.
- An Approved Plant List which lists indigenous and ornamental plant materials is located in Appendix B.
- In general, species used in the golf course are to be integral to the overall landscape design and not just limited to Natural and Transition Areas.
- A more informal, natural planting design shall be used in the Transition and Natural Areas to create a gradual transition from the golf course landscape to the Private Area landscapes.
- Areas that have been previously landscaped by the Developer shall be protected from damage during construction. Any damage to previously landscaped areas by the Owners' Contractor shall be promptly replaced with plant materials of the same size, quantity and species.
- Proposed landscape plantings that are not on the Approved Plant List shall be identified on all landscape submissions with a full description of the plant and why it is proposed for use. The DRC reserves the right to disapprove of any plant they find incompatible with the overall design intent.
- The landscape design on each Lot shall gradually transition from the Private Area as the most intensive landscape to the Natural Area as a more natural landscape. The Private Area shall be separated from the Natural Area either by the Transition Area or by walls, courtyards and/or other structures.

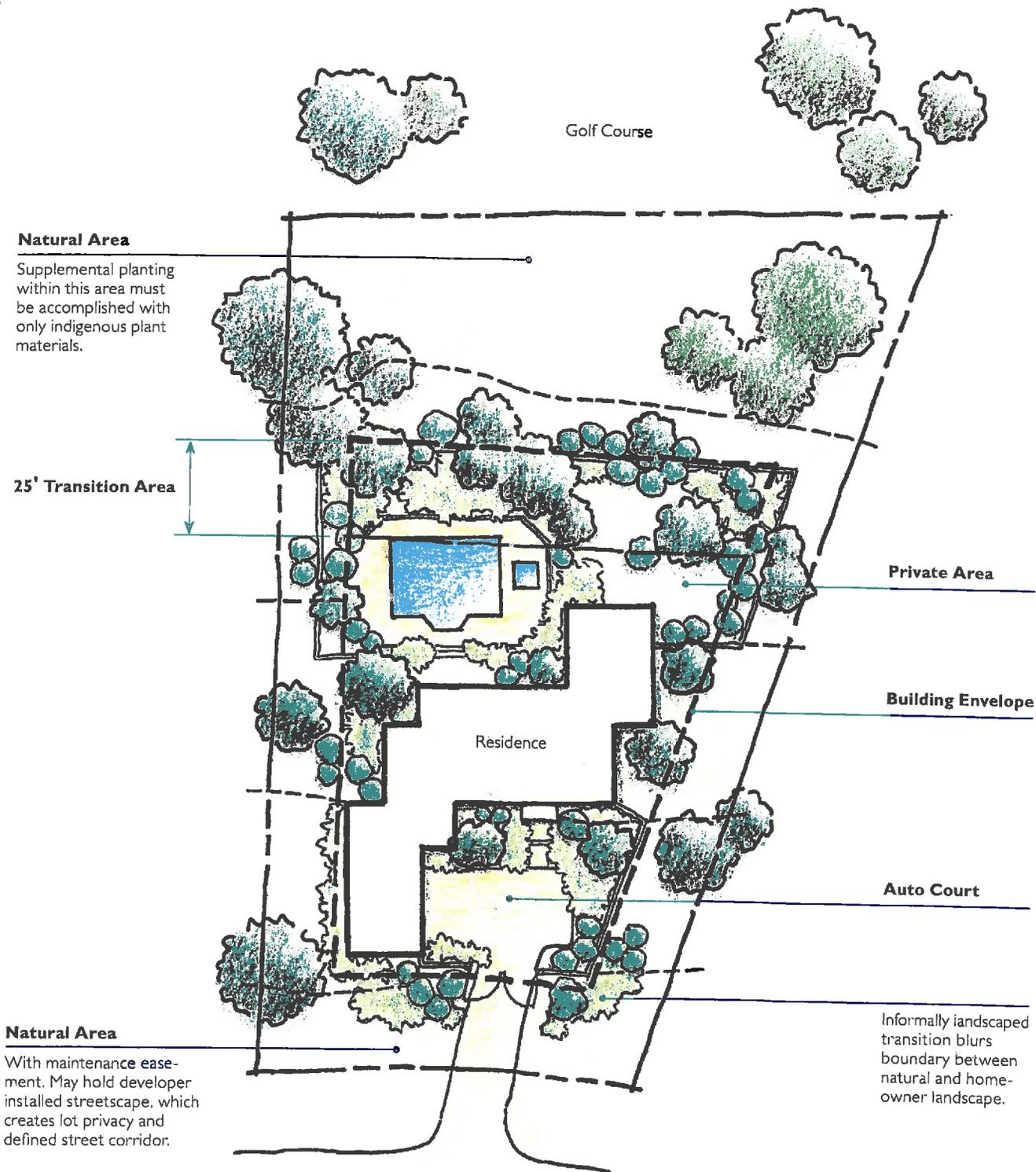
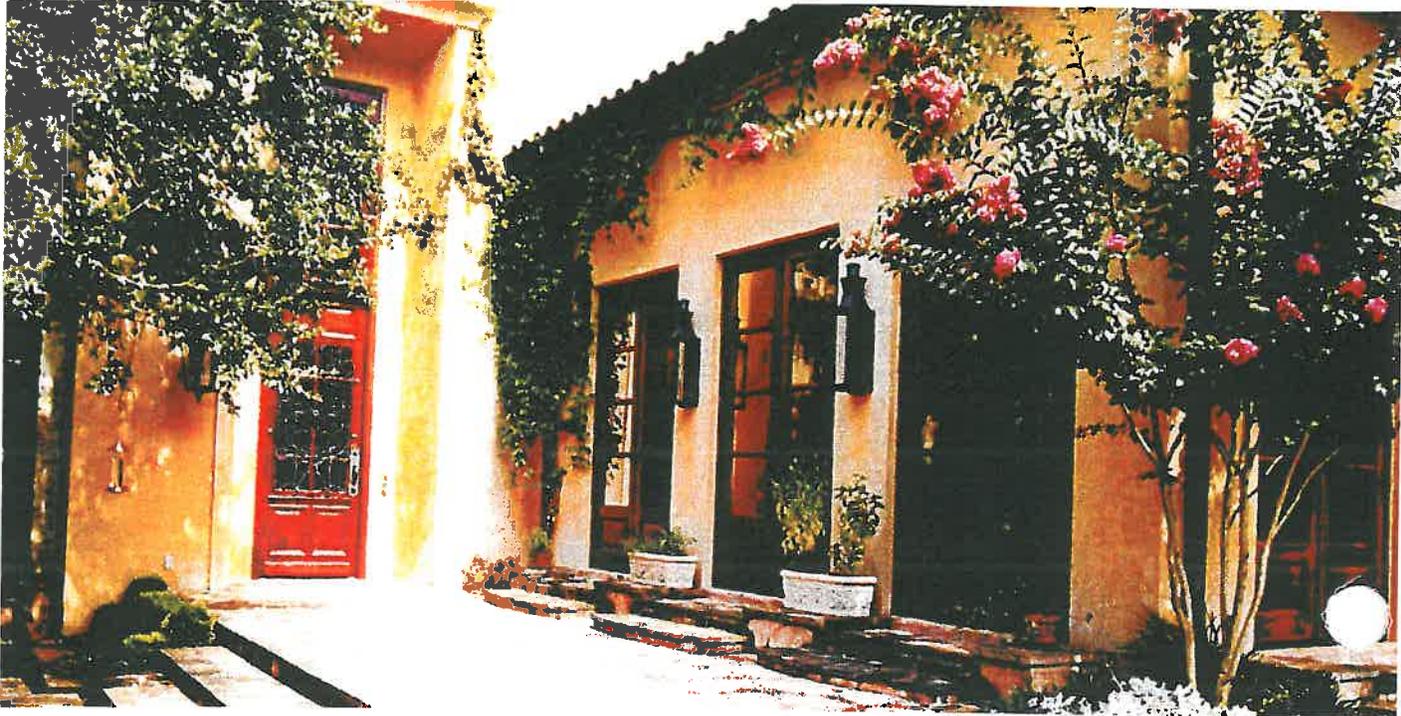


Figure 4.11 – Planting Design Concepts

- Surface-select decomposed granite boulders may be used in the landscape if appropriate to the particular site and setting. They shall be sunk a minimum of one-third (1/3) below grade, utilize a variety of sizes, and be massed in groupings of two or more to appear as natural rock outcrops. Permeon or other artificial painting or staining may be required by the DRC.
- All trees, shrubs, and ground covers must be maintained properly. All dead or dying plants shall be replaced promptly. Maintenance for seasonal planting will be required in the off-season to remove all dead or



4-20

frost damaged growth, leaf litter or other debris. Irrigation systems must be maintained to ensure survivability of plant material.

- The use of colored gravel mulch is prohibited.
- A prohibited plant list is included in Appendix C. These plants represent species with characteristics that are potentially destructive to the environment, have weed-like tendencies or are in conflict with the intent of these Guidelines. Under no circumstances may a plant from the prohibited plant list be used.
- Plant materials within the Transition and Natural Areas that have the potential to grow above 3-feet in height and obstruct oblique views, shall be maintained at or below 3-feet.
- To create a more natural looking landscape character in the Natural and Transition Areas, the use of multi-trunked trees is preferable over the use of nursery "standards" in the landscape design. Failure to do so could subject the Owner to enforcement from the DRC.
- All plant material shall meet the requirements of the "American Standards for Nursery Stock-ANSI 260.1"

#### 4.14.2 PRIVATE AND TRANSITION AREA PLANTING GUIDELINES

A larger variety of plant material, including non-native species, may be used in the Private Area and Transition Areas. The Private Area is that area of the Lot defined by walls, Buildings, landscape structures and/or plant materials visible from public areas, including adjoining Lots, golf course and/or Common Areas.

- The use of trees is preferred in areas close to the house to help blend buildings with the site, accentuate entry areas, provide for climate amelioration, and help to define outdoor spaces.



- Tree and Shrub Planting Requirements within Private & Transition Areas: In order to blend buildings with the site the following plant materials shall be planted within Private & Transition Areas. The DRC may require additional tree planting on a Lot if, in their opinion, the Lot size, building siting, mass or character, or any other circumstance specific to that Lot, warrants an increase in tree size or density.
- Five trees, 4" cal. minimum.
- Four trees, 3" cal. minimum.
- Ten shrubs (5-gallon minimum size) per 500 s.f. of Private Area. Private Area shall be rounded up to the nearest 500 s.f. to calculate the number of required shrubs.

#### 4.14.3 THE NATURAL AREA PLANTING GUIDELINES

The Natural Area shall be planted with the plant palette of the golf course, streetscape or Common Areas in a similar pattern and density so as to create a gradual transition between the Owner landscape and Community landscape. Plantings are to slowly transition from the more intensively landscaped areas of the Private and Transition Areas to the recreated landscape of the Natural Area. These areas shall be maintained so that they resemble the more natural golf course or Common Area landscape. A low wall that separates the Private and Transition Areas from these areas may also be used.

- The placement and groupings of shrubs, ground covers and trees shall be naturalistic and random and not formal or straight. Owners and their consultants are to study the existing landscape in adjoining areas for grouping and spacing characteristics.
- Ornamental grasses that match those used on the golf course or Common Areas are encouraged.
- Plant material within the Natural Area shall be located and maintained to not block oblique views from adjacent Lots.
- Multi-trunked trees are required for all trees planted in the Natural Area.
- Tree and Shrub Planting Requirements within Natural Areas: In order to blend buildings with the site the following plant materials shall be planted within Natural Areas. The DRC may require additional tree planting on a Lot if, in their opinion, the Lot size, building siting, mass, character, or any other circumstance specific to that Lot, warrants an increase in tree size or density.
- Three trees, 4" cal. minimum.

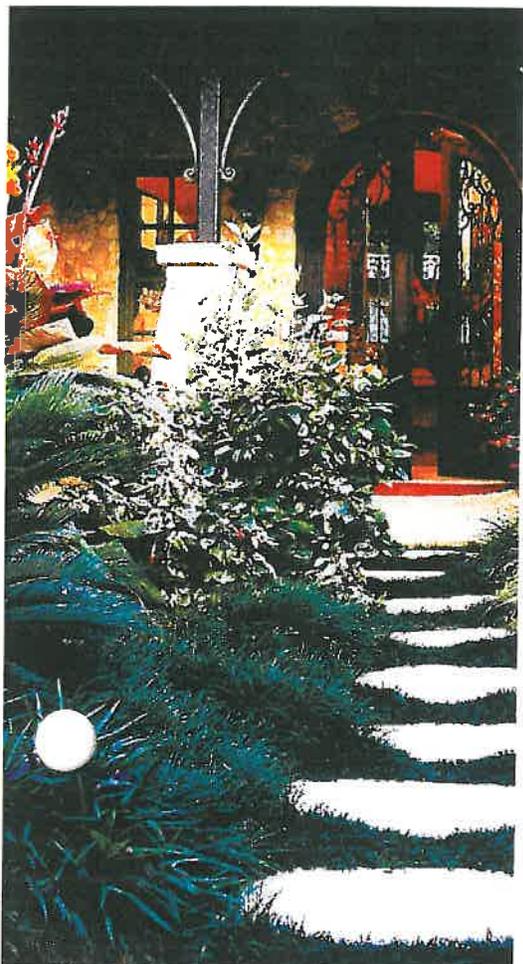
#### 4.14.4 EXISTING STREETScape AND LANDSCAPE ON LOTS

The Developer has installed landscape along streets, drainages and slopes. In some cases, this landscape is within the Lots. This on-Lot landscape has a landscape maintenance easement over it and is identified on the Lot Diagram. These areas will be maintained by the Association. This vegetation shall not be removed, except for driveways, utility connections and minor grade tie-ins and shall be incorporated into the overall design of the Lot. If vegetation is removed for driveways or other Improvements, it shall be replaced with vegetation of similar quantity, size and species in an area approved by the DRC.

The streetscape and any landscaping installed within the Lot by the Developer will be irrigated by a system connected to the domestic water system or by water purchased from the golf course.

#### 4.14.5 COMPLETION OF COMMUNITY STREETScape PLAN BY BUILDER/HOMEOWNERS

As part of the Community Landscape Plan, a comprehensive Streetscape Plan was designed for the entire Community. While portions of the Plan were installed, areas in the middle of the Lot street frontage were left unplanted with large trees and shrubs to allow Owners more flexibility in designs for their Lots. Each Owner will be required to complete the portion of streetscape on the Owner's Lot per the Community Streetscape Plan which is available from the DRC at initiation of the DRC process.





#### 4.15 POOLS AND WATER FEATURES

##### OBJECTIVES

- To locate pools and/or water features where they are not highly visible from public areas.
- To design pools and water features which augment the outdoor spaces and complement the architectural style of the main buildings.

##### GUIDELINES

- Cultures that developed in arid regions historically have treated water as a precious resource. Traditionally, this meant water sources were "protected" within enclosed courtyards, water movement was kept to a minimum to reduce evaporation and basins or "canals" were simple, geometric shapes, articulating arrival to an "oasis."
- Pools, spas, ponds and other artificial water features must be built within the designated Building Envelope. When Building Envelopes are coincident the property line, any pool, spa or water feature must be set back a minimum of 10-feet from the property line. Small water features located on side yard privacy walls may be exempt from this guideline if the applicant can demonstrate the water feature will not have a noise or visual impact on the adjacent Lot. Pools and spas in the rear transition areas may be allowed closer than 10-feet to the property line if it is demonstrated that such Improvements have no impact on the golf course, Common Areas, or adjacent Lots.
- In general, pools and water features are to be designed to be integral parts of the residential design and visually blend with the landscape. Landscaping should be selected and arranged to complement the water feature and create "outdoor rooms."
- Swimming pool and spa areas must be screened with low landscape walls and/or

plantings to minimize their visibility from any Natural Areas, streets or the golf course. Swimming pools and spas, and the doors and gates leading to them, must be constructed in accordance with the regulations of the City of Horseshoe Bay, including fence and enclosure heights. Pool enclosures shall utilize a combination of fencing and grade changes to meet wall requirements set forth by the City and these Design Guidelines.

- Mechanical equipment must not be visible or heard from adjacent Lots and shall be located below grade or enclosed by walls or other suitably effective screening and noise attenuation methods.
- The exposed edges of infinity or “negative” edge pools that are visible from the golf course or other Common Areas must utilize an approved natural stone that blends with the adjacent landscape. Exposed pool walls or surfaces that are visible from offsite must be screened with shrubs, vines and/or ground cover plantings. All infinity edged pools and spas shall use one of the details illustrated in FIGURE 4.12 – INFINITY EDGE DETAIL.

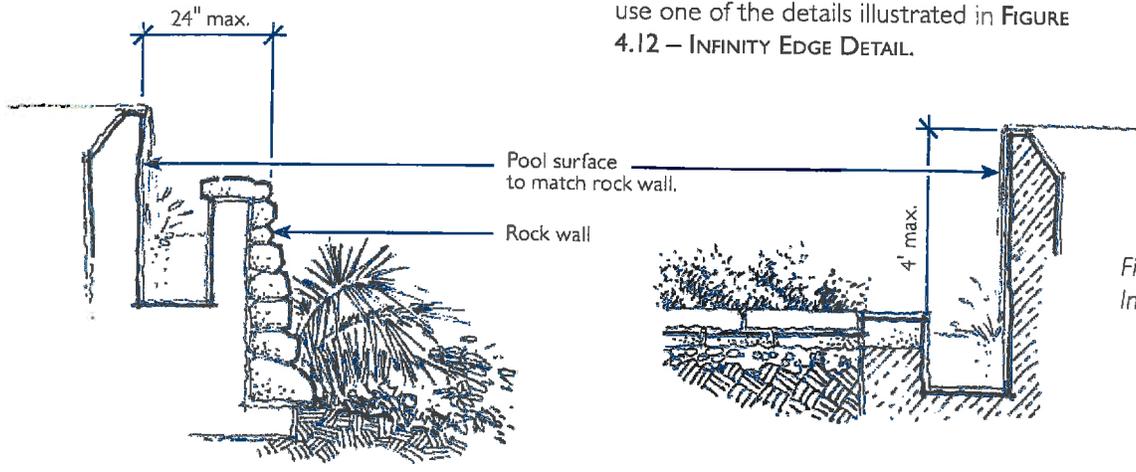
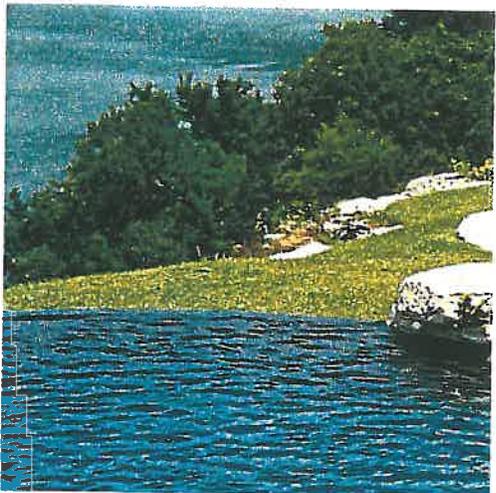


Figure 4.12 – Infinity Edge Detail



#### 4.16 IRRIGATION

##### OBJECTIVES

- To minimize the amount of landscape irrigation required through water sensitive landscape design.
- To utilize irrigation systems that provide efficient water coverage and minimize water usage and runoff.
- To ensure adequate levels of irrigation using automated systems to promote optimal plant growth and establishment of a mature landscape.

##### GUIDELINES

- All landscaped areas within the Lot must be irrigated. The use of drought tolerant plants combined with minimal irrigation must be the basis of all landscape submittals. Except for turf and some groundcover areas, where overhead or micro spray systems are more practical, the use of automatic underground drip irrigation systems will be required in all landscape areas to ensure the establishment and sustainability of the landscape.
- Group plant materials according to their water consumption needs.
- All irrigation systems will utilize an automatic, programmable controller to maximize efficiency. The POA shall reserve the right to suggest appropriate adjustments to the watering cycle, volume and duration.
- The irrigation system must be designed and installed to preclude over spray or runoff into the Natural Area or onto adjacent pavements or walls.

- Irrigation must be designed in accordance with any applicable regulations including those of the City of Horseshoe Bay and the appropriate regulatory agency. It is the Owner's responsibility to acquire, understand and adhere to any such regulations and the DRC assumes no responsibility related to these regulations.

#### 4.17 LIGHTING

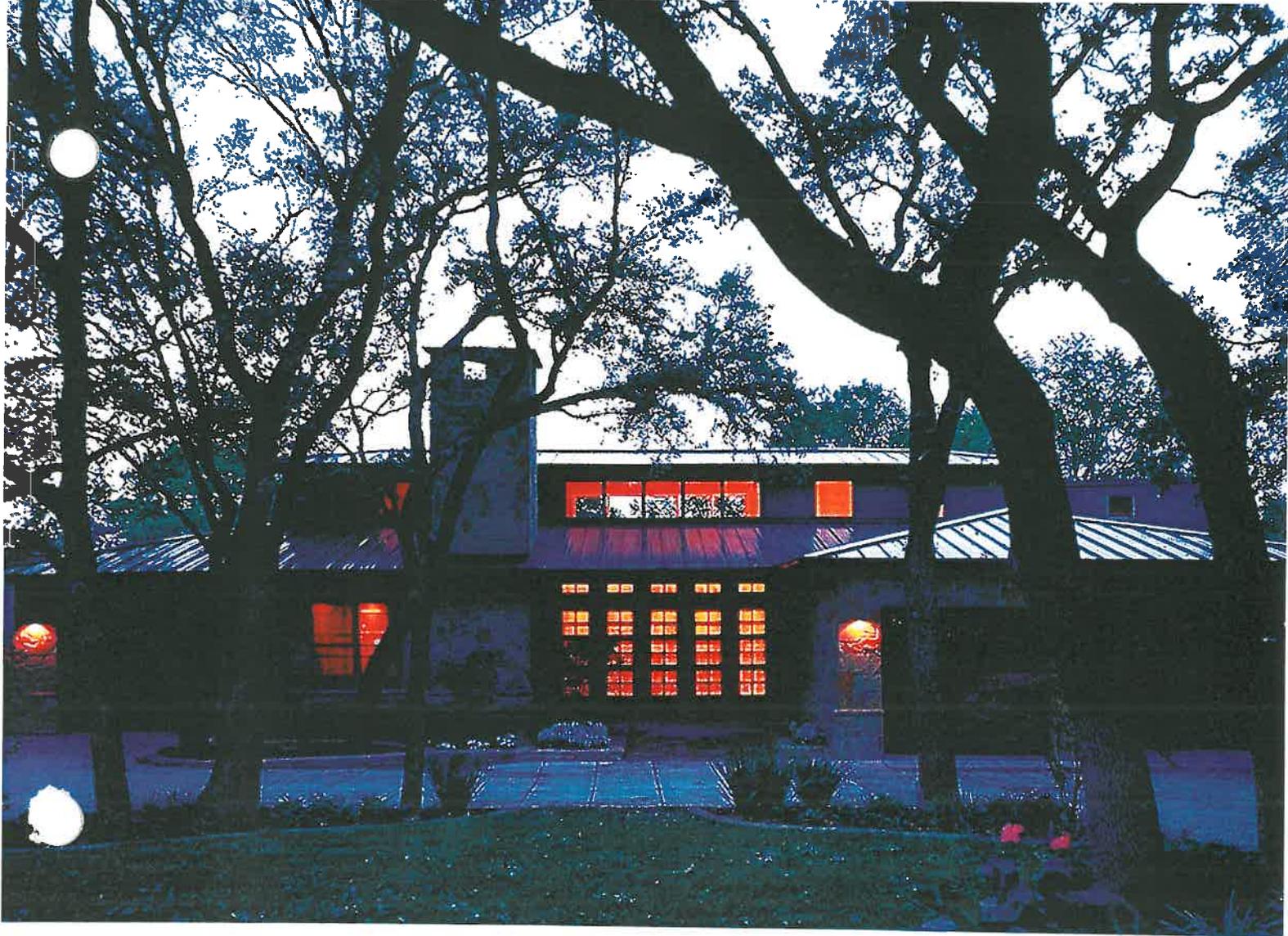
##### OBJECTIVES

- To preserve the nighttime dark sky by minimizing the amount of exterior lighting.
- To utilize low intensity, indirect light sources to the extent required for safety and subtle drama.
- To utilize light fixtures which complement the architecture and enhance the landscape.

##### GUIDELINES

- Exterior building lighting, either attached to or as part of the building, shall be the minimum needed to provide for general illumination, safety, and security of entries, patios and outdoor spaces and associated landscape structures.
- Exterior site lighting shall be minimal, provide subtle drama and be directed onto vegetation or prominent site features and not upon the building.
- Lighting of plant materials shall be achieved with hidden light sources and down lights from above.
- To preserve the dark sky, uplighting shall be minimized. A maximum of 5 trees, having a maximum of 2 uplights each, may be lit.





- Only low voltage lighting with a maximum of 25 watts may be used for all exterior site lighting applications. Line voltage may be used for lights on the building, but must be lamped with 25 watt maximum incandescent or fluorescent bulbs.
- Only incandescent lamps shall be used for all site lighting.
- Owners are encouraged to install underwater pool, spa and water feature lights with rheostats so that they may be easily dimmed if it is determined that spillover light from these sources is a nuisance to neighboring Lots/Common Areas or is adversely affecting the nighttime dark sky.
- To preserve the nighttime dark sky, lighting emanating from the home's interior should be carefully considered. Interior light shall be concentrated at activity areas and minimized next to windows. Built-in lighting adjacent to windows shall be directed towards the home's interior. Architectural or decorative elements shall be used to minimize the quantity of light escaping

through the windows. The maximum level of footcandles 20-feet from a window shall be 0.01-footcandles.

- With the exception of low-level driveway lights, all lighting must occur within the Building Envelope. Subtle lighting of the driveway entry and/or address numbers is allowed. A string of driveway lights clearly defining the drive alignment will not be allowed.
- Light fixtures should be located and designed to avoid spillover onto adjacent Lots.
- Soffit lights over garage doors are not allowed.
- Security lighting may be installed on buildings provided it does not create a light nuisance to adjoining Lots, Common Areas or the golf course. All motion sensitive security lighting must be on timers that automatically turn the lights off after 5 minutes. Motion detectors should be located to avoid accidental triggering by wildlife or wind-blown vegetation. Light from these devices shall be directed downward and not into any Common Area or the golf course.

## 4.18 EXTERIOR SERVICE AREAS

### OBJECTIVES

- To screen service areas from off-site views.
- To ensure any noise or odors from trash or equipment are contained within the service areas.

### GUIDELINES

- Trash disposal areas, outdoor work areas, mechanical equipment and outside equipment (including antennae and satellite dishes) are to be completely screened from off-site views by the use of architectural features or plant materials. Where feasible, these areas are to be integrated into the main buildings.
- Trash container storage areas must be located so that they are easily accessible to service personnel and offensive odors are contained. These areas shall require gates and sealed containers. Generally, these areas need to be within 30-feet of the street to allow for walk-up collection service.
- Pool, spa equipment and air conditioning units shall be located behind walls or in underground vaults to contain noise. Solid noise absorbing covers for equipment may be required after installation if it is discovered that noise emanating from the units is a nuisance to adjoining Lots, Common Areas or the golf course.

## 4.19 MISCELLANEOUS SITE ELEMENTS

### 4.19.1 PATIO FURNITURE

Exterior storage of patio furniture and outdoor living accessories in areas visible from off-site is allowed provided it meets the following requirements:

- If stored uncovered, the furniture is stored in the same locations as if it were in use.
- If stored with covers, the covers must be made from non-reflective material with dark, earth tone colors.

Patio furniture and umbrella colors are to utilize subdued colors when their location is visible from other Residences, the golf course, or Common Areas. The DRC and/or POA reserves the right to reject any such items if it is deemed they are not consistent with the intent of these Guidelines and the Community's aesthetic objectives.

### 4.19.2 SCULPTURES AND ARTWORK

All sculptures and/or artwork visible from adjacent Residences or Common Areas must be approved by the DRC prior to installation. No reflective materials or bright colors will be allowed in areas visible from the golf course, Common Areas or adjacent Lots. The Final Design submittal is to include detailed information on size, location, materials, colors, mounting details and lighting.

### 4.19.3 BARBECUES, HEAT LAMPS AND MISTING SYSTEMS

Barbecues, heat lamps and misting systems are to be built into walls or the overhead structures and be architecturally consistent with the Residence, or a space to accommodate storage of these items is required. All equipment that is visible from other Residences or Common Areas shall be non-reflective and have muted coloration.

#### **4.19.4 FLAGPOLES, ANTENNAE, AND SATELLITE DISHES**

Antennae and satellite dishes are subject to special review by the DRC. They shall be installed so as not to be visible from any neighboring Lot, Common Area or the golf course, mounted in an inconspicuous manner and painted or colored to match the adjacent background color to blend with the surrounding building. Freestanding flag poles are prohibited.

#### **4.19.5 ADDRESS MARKERS**

Address markers, or whatever the local fire department allows should be designed in an understated way, utilizing subdued colors.

#### **4.20 SPORTS/TENNIS COURTS**

Sports/tennis courts shall be allowed on lots provided there is no lighting, the courts are screened from view from adjacent Lots and Common Area and methods approved by the DRC are used for noise abatement.

#### **4.21 EXTERIOR RECREATION OR PLAY EQUIPMENT**

All exterior recreational or play equipment, such as swing sets, slides, play structures, jungle gyms and similar equipment, must meet the intent and requirements of all sections of these Guidelines, including color. This type of equipment or Structures shall be located in the least visible portions of the Lot and must not be visible from the golf course, adjacent Lots or Common Areas. The height of this type of equipment shall be limited to a maximum of 8-feet above finished grade. All exterior recreational or play equipment requires specific approval of the Committee prior to installation.

#### **4.22 BASKETBALL HOOPS**

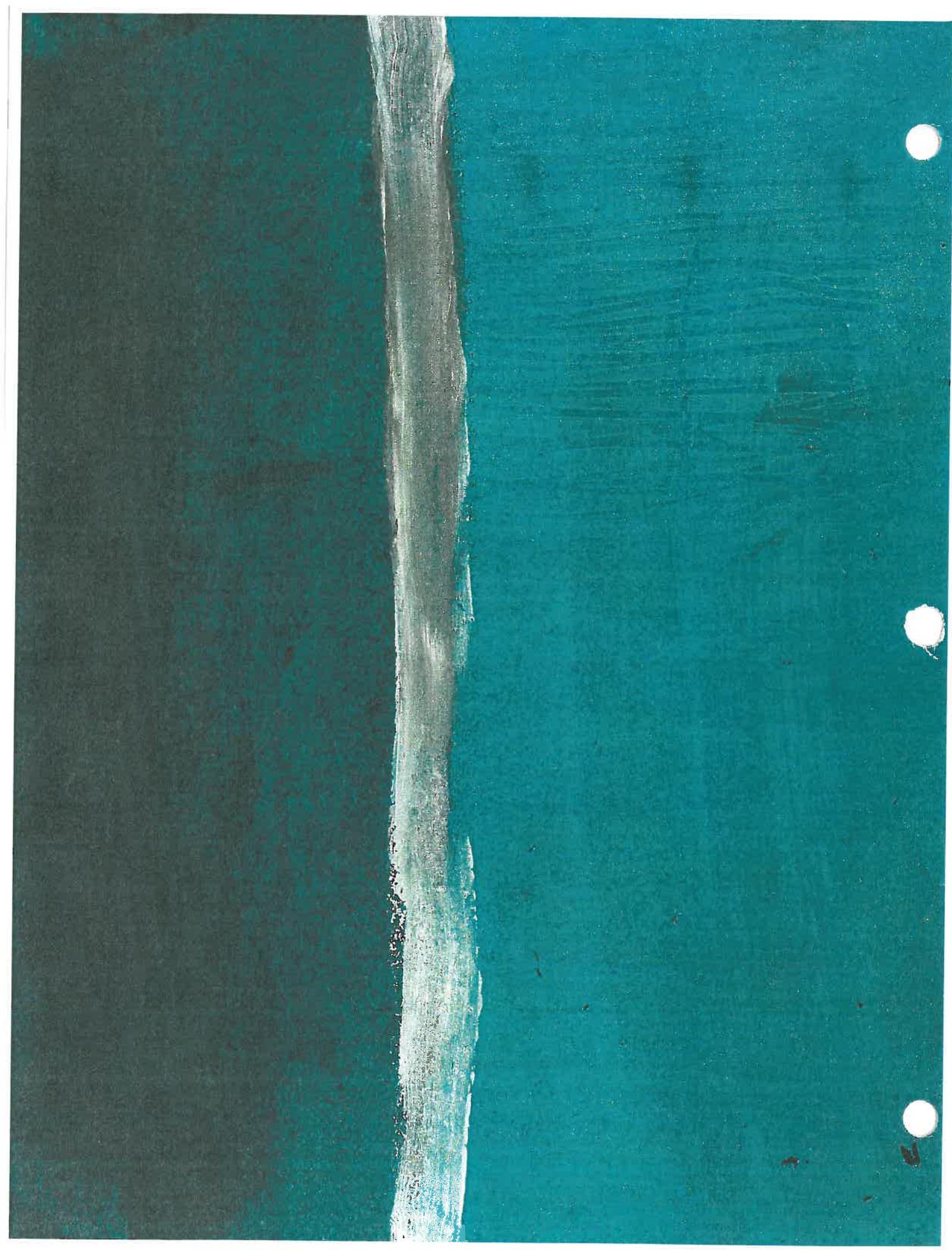
Basketball hoops and backboards shall be allowed on Lots if they are not visible from the golf course, adjacent Lots or Common Areas. No portable basketball hoops shall be allowed.

#### **4.23 EXTERIOR HOLIDAY DECORATIONS**

The intent of this section is not to discourage decorating for holidays, but to ensure a tasteful and very high standard of quality befitting the Skywater Community. Holiday decorations shall be subtle and tasteful. Decoration displays shall not have a commercial appearance and shall not be "over done" in brightness, size or visibility from the golf course and Common Areas. The Association reserves the right to prohibit any holiday decorations it deems inappropriate for the image of the Skywater Community.

No "lawn ornament" type holiday decorations or plastic sculptures may be displayed on the exterior of the Residence. Decorations will not be allowed to be mounted on roofs or located outside of the site walls or Building Envelope. Cut evergreen trees decorated as holiday trees will not be allowed on the exterior of the Residence.

Holiday decorations will be allowed only between five days before Thanksgiving and January 15th. Decorations for other holidays may be installed no more than two weeks prior to the holiday and must be removed within one week after the holiday.



## chapter 5 architecture guidelines

The following architectural standards have been developed to achieve the environmental Community and aesthetic objectives for the Skywater Community. The intent of these Guidelines is to encourage a diversity of design solutions while at the same time producing high quality homes that are appropriate for the Community. Lot Owners and Designers are encouraged to review the portfolio of appropriately designed homes, available at the DRC office, which clearly illustrates styles and the level of quality that will define the Skywater Community.



## 5.1 ARCHITECTURAL DESIGN OBJECTIVES

### OBJECTIVES

The following are the main objectives for architectural design at Skywater:

- To create buildings appropriate to a casual, outdoor lifestyle.
- To design buildings that seem to “grow out” of the site by responding to the climate, landforms, landscape and site elements.
- To create buildings which have a strong indoor/outdoor relationship.
- To create buildings that, through their design, massing and materials, convey a sense of timelessness, permanence and quality.

## 5.2 DESIGN CHARACTER

### 5.2.1 COMMUNITY ARCHITECTURE

For many, the Texas Hill Country offers an environment that creates an opportunity to “reconnect” with what is important in our lives: family, friends, ourselves or the great outdoors. Traditionally, architecture has provided that respite from the elements – the oasis – to allow that reconnection to occur. Using materials appropriate to each style, buildings become a part of the environment, resting gently upon the land. This effortless connection between shelter and the natural landscape that is the hallmark of vernacular architecture is also the goal of the new homes that will be built within Skywater. Set within the hills, these homes will be subtle architectural responses to the Hill Country climate, views and landforms.



### 5.2.2 ARCHITECTURAL INTEGRITY AND QUALITY

Although these guidelines are not intended to dictate specific architectural styles for the Skywater Community, they are crafted to promote architectural solutions that are innovative, of the highest quality and appropriate to the surrounding landscape and Community context. This architectural integrity expresses itself through design that:

- utilizes natural materials in accordance with their physical nature and structural capabilities.
- utilizes materials and construction techniques that convey a sense of permanence and durability (stone and masonry for example).
- are respectful of site context and the Community as a whole.

To achieve buildings that possess architectural integrity, the DRC will be evaluating submissions based upon the following qualitative criteria described below as well as specific or absolute requirements (such as Building Height) described in these Guidelines.

**Site Context and Integration:** Homes in the Skywater Community are to be understated expressions of the member's personality, being just one "good neighbor" helping to create a unified Community image. Proper siting within the Building Envelope, sensitive exterior finish material selection and appropriate landscape that extends and compliments the existing Community landscape all combine to achieve this goal.

**Scale:** A building's scale is critical in how one perceives its place within the Community. Though there are no maximum square footage restrictions, the DRC will review a building's scale relative to the size of the Lot and Building Envelope, vertical massing and proportion of 1-story to 2-story elements. Owners and their designers should be mindful of scale as they move through the design process. Building masses that are primarily room-sized volumes are strongly encouraged.

**Proportion:** Each design element of the home has an inherent proportional relationship to each other and to the overall design, creating a balanced composition. Exaggerated or overly stylized elements should be avoided.

**Color:** The surrounding hillsides render color an important design component. Homes utilizing a design approach that includes consideration of color at an early stage are able to employ more sophisticated compositions than those that view color as an application at the end of the design process. Within the context of the overall Community, a wide range of recessive color applications is encouraged, creating a diversity of color use that adds character to the Community.

**Rhythm and Balance:** These Guidelines encourage the harmonious recurrence of building forms, elements, materials or color to create a sense of serenity and balance in the architectural composition. The rhythm of the architectural elements may be sequential, concentric or random.

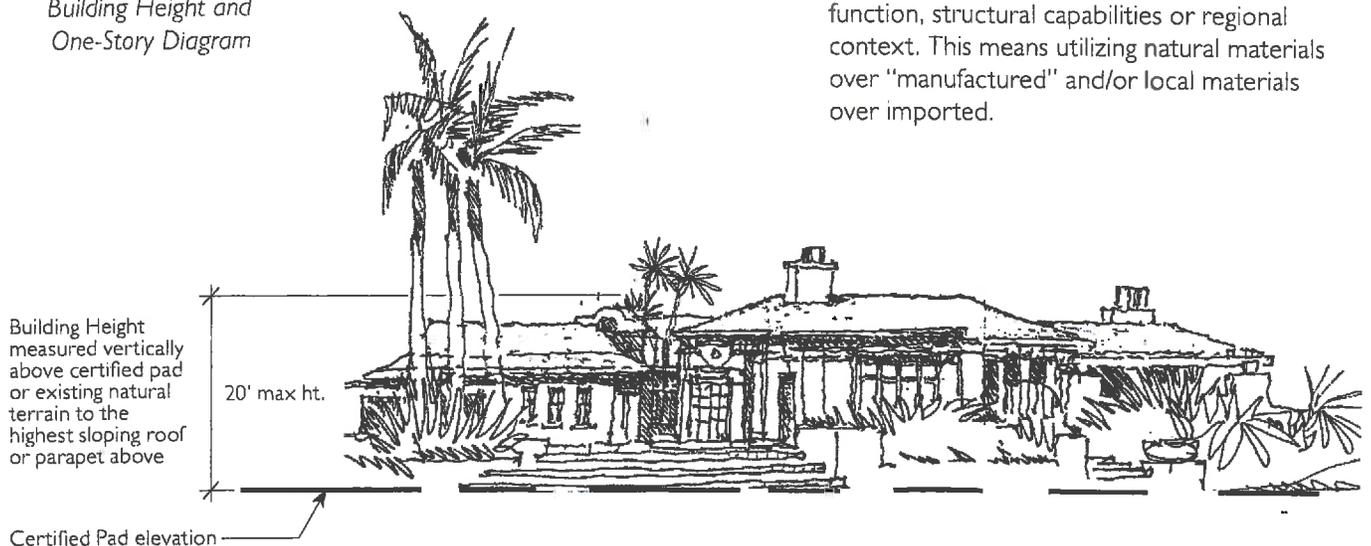
**Texture:** A greater amount of light reflects off of smooth surfaces in the sun. Bold texturing can be equally disruptive visually. Accordingly, a rich and varied palette of textures created by random patterning is desired to minimize the reflectivity of walls and roofs.

**Shade and Shadow:** Large scale texturing of a building may also be achieved by shade and shadow. A series of transitional spaces, such as trellises, loggias, overhangs, deeply recessed doors and windows, courtyards or outdoor rooms, help create visually rich compositions, provide weather and sun protection and establish strong indoor/outdoor relationships throughout the home.

**Appropriateness:** The degree of individual design expression will be measured relative to the home's landscape context and the overall aesthetic goals for the Skywater Community. A design deemed inappropriate may not be a reflection of the quality of the design but may be considered too individualistic or object oriented and therefore inappropriate. In essence, homes should not strive to "make a statement."

**Material Authenticity:** Building materials should be used as honest expressions of their function, structural capabilities or regional context. This means utilizing natural materials over "manufactured" and/or local materials over imported.

Figure 5.1 –  
Building Height and  
One-Story Diagram



### 5.3 BUILDING HEIGHT

#### OBJECTIVES

- To minimize the visual impact of all buildings and to ensure that they are subordinate to and blend with the surrounding landscape.
- To ensure that the view potential from each Lot is preserved.
- Building Height Measurement

The maximum Building Height shall be established by a plane measured vertically above the certified pad elevation. The overall height shall be measured from the highest parapet framing or plywood sub-roof ridge to certified pad elevation and/or the existing grade adjacent to the building exterior directly below. Building finished floor elevation (FFE) shall be measured from the certified pad after builder grading is completed.

#### Building Height and Story Information

Allowable Building Heights and Story Height information for each Lot are indicated on the Lot Diagram. In no case shall the Building Height for any building exceed 35-feet. Chimneys may extend to 37-feet. Story designations are described below:

**One-Story-** For "One-Story" homes, the Building Height generally may not exceed 20-feet. Chimneys may extend to 24-feet.

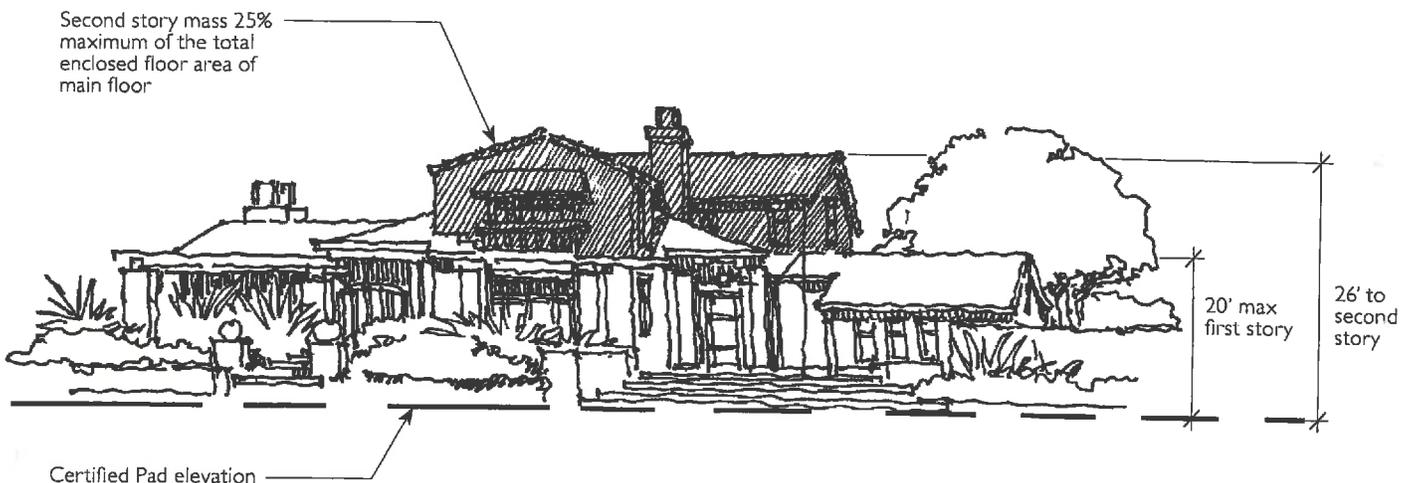
Additionally, a 150 square foot portion of the building may extend to 24-feet. The intention of this guideline is to allow for vertical accent elements, such as a tower, on one-story homes. **SEE FIGURE 5.1 – BUILDING HEIGHT AND ONE-STORY DIAGRAM.**

**Two-Story-** For "Two-Story" homes, Building Height in general is 20-feet but may extend to 35-feet for a portion of the building as described below. The second story element, either under or over the main floor, may not exceed 25% of the total enclosed main Floor Area (excluding garage and accessory structures). Second story elements that exceed the above 25% requirement may be permitted by the DRC if they meet the following criteria.

- Further the overall aesthetic goals of the Community
- Do not have an adverse impact of any kind upon adjacent lots, Common Areas or the golf course.
- Is consistent with the proposed architectural style.

Chimneys may extend to 30-feet. Refer to definitions for Floor Area and Story for further information. **SEE FIGURE 5.2 – TWO-STORY HEIGHT DIAGRAM.**

Figure 5.2 – Two-Story Height Diagram



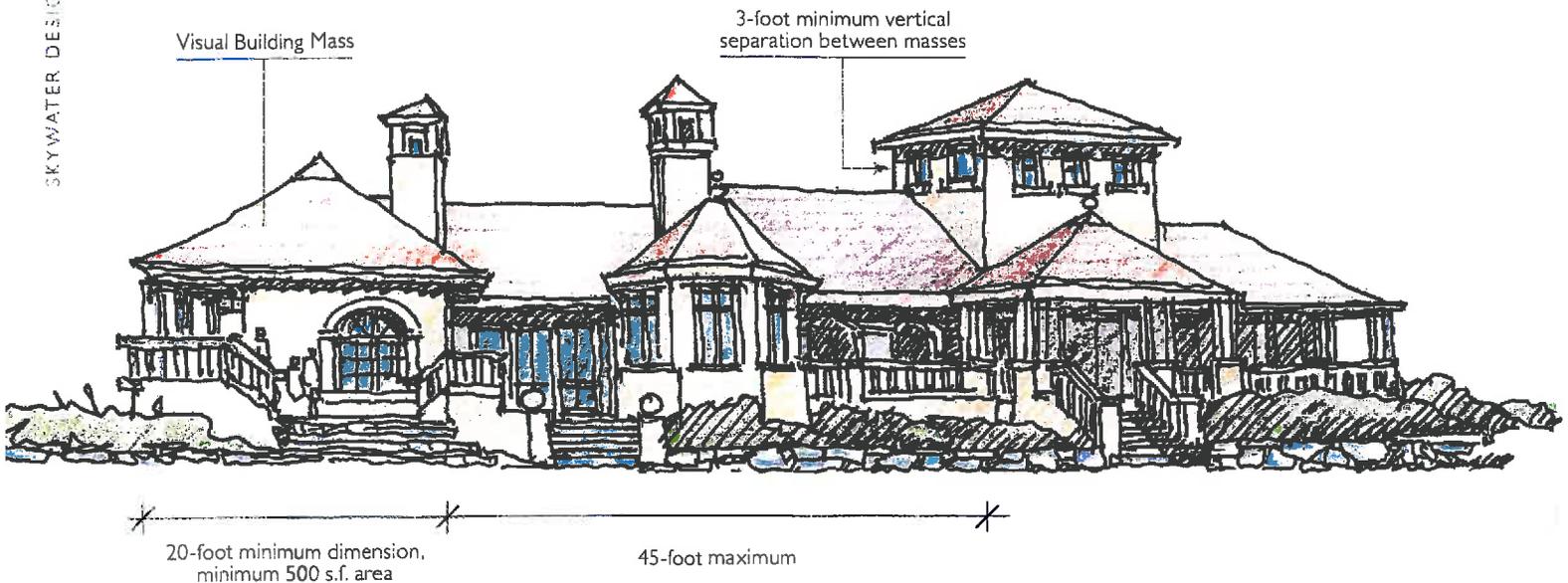
## 5.4 BUILDING FORMS AND MASSING

In general, buildings shall be one story masses with larger masses located in the middle of the mass. Building massing shall be a composition of horizontal rather than vertical volumes, punctuated and articulated by entries, varying levels, offsets, deep set windows and doors, and building projections such as pergolas, trellises and/or covered porches.

### Massing

- Massing shall reflect room size volumes or groups of masses rather than one dominant mass. If an architectural style or design that relies upon a single, dominant mass is proposed, the applicant must demonstrate that the mass is not visually dominant when viewed from neighboring Lots, Common Areas or the golf course and supports the aesthetic objectives of the Community.
- Each building shall be constructed as a series of Visual Building Masses. To be classified as a Visual Building Mass, the mass shall have a minimum depth and width of at least 20-feet, be a minimum of 500 square feet in area, and be offset by at least 2-feet horizontally and 3-feet vertically from another mass. Each Residence shall be constructed in at least three Visual Building Masses as viewed from any elevation. Homes larger than 5,000 square feet, including garages, shall be constructed in at least four visual masses as viewed from any elevation. SEE FIGURE 5.3 – BUILDING FORMS AND MASSING.
- In an effort to avoid excessively large building masses, the maximum size for a Visual Building mass shall be 3000 square feet, unless, through use of creative architectural design, a larger mass does not appear out of scale or excessive in size. Building designs shall incorporate varied projections such as wall offsets, trellises, covered porches or verandas that create texture, shade, scale and visual interest. Building ridgelines or side walls shall not exceed 45-feet in

Figure 5.3 –  
Building Forms and Massing





*Asymmetrical building massing*

*Varied building projections  
create light and shadow*

*Larger mass located towards  
the middle of the building*

Figure 5.4 – Massing Design Concepts

one direction without a change in roof alignment, a wall or elevation offset or broken by an appropriately scaled architectural element such as a chimney.

- Massing designs that are based on vernacular architecture are encouraged. In general, these designs employ groups of distinct and simple geometric forms emphasizing a low profile and wall, rather than roof compositions.
- The play of light and shadow between Building Masses shall be carefully formulated to articulate masses, accentuate entries and/or building levels and to create texture. **SEE FIGURE 5.4 – MASSING DESIGN CONCEPTS.**
- In general, larger masses shall be located in the middle of the Lot while smaller masses shall be located along the perimeter of the Private Area.
- Buildings shall be designed to be viewed from all sides. Screening and/or designing service areas as integral parts of the overall architectural composition is required.
- Building masses shall have a strong indoor-outdoor relationship by incorporating courtyards, breezeways and patios.
- Entries shall be recessed and articulated with overhangs, porches and/or courtyards. Entry elements shall be in scale with the home. Dominant or overly stylized entries shall be avoided.
- Detached garages which incorporate pergolas or trellises to connect to the main Residence are encouraged to avoid large bulky forms.

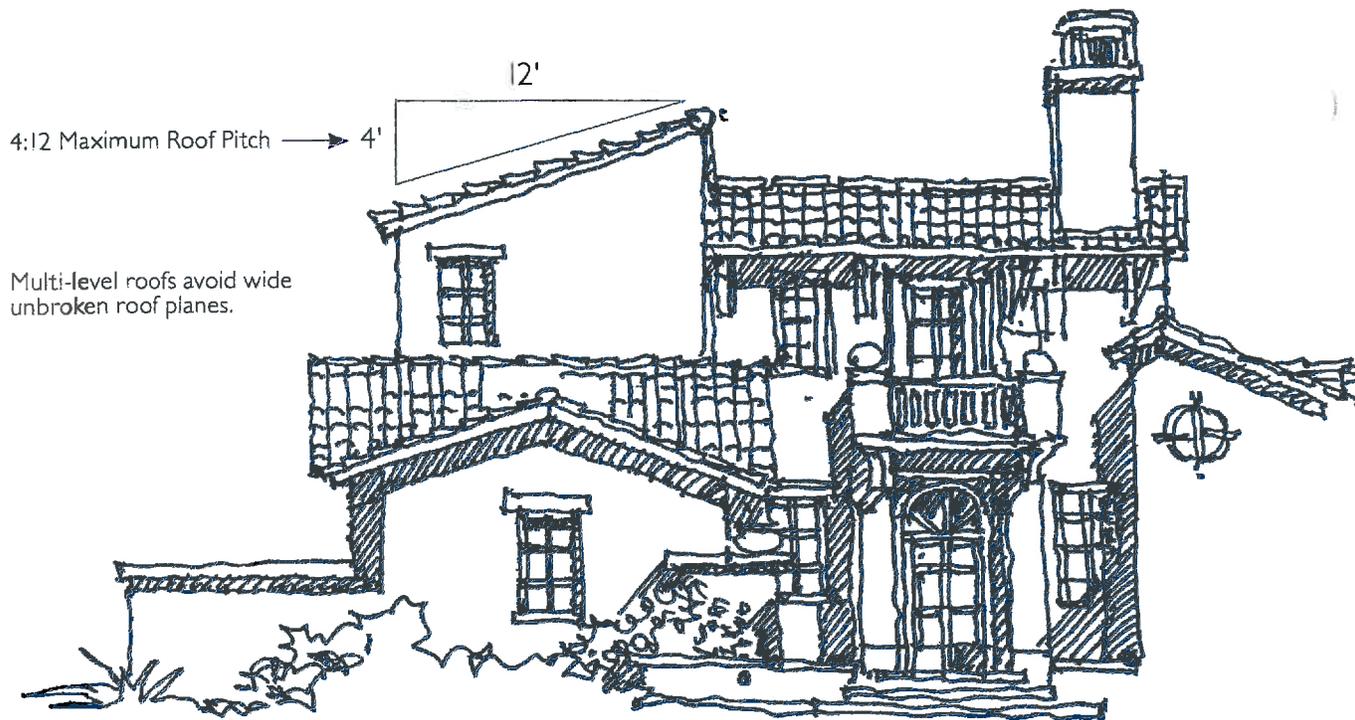


Figure 5.5 – Roof Pitches and Composition

## 5.5 ROOFS

All roofs shall be carefully designed in color, material and shape so that they help to integrate the structure with the site and neighboring buildings and minimize the overall Building Massing. Trellises and outdoor covered areas shall be incorporated into the overall massing to avoid a "tacked" on appearance.

**Roof Forms:** Flat roofs are discouraged but may be allowed provided they are not visually dominant when viewed from Community Common Areas, the golf course or other Lots. Flat roof forms may include stylized parapet walls, fascias and/or overhangs. Low pitched roof forms may include gable, hip and/or shed roofs (for minor building elements). Low pitched roofs are encouraged to reinforce the traditional forms and scale of the landscape.

**Roof Pitches:** Sloped roof pitches may be between 3:12 to 8:12. Roof designs shall incorporate offsets and/or multi-level designs to avoid the appearance of wide, unbroken roof planes as viewed from above or off-site. In designs that have flat roofs, a minimum of three different roof levels must be incorporated and the details between the parapet wall and roof must be painted to match the wall color. SEE FIGURE 5.5 – ROOF PITCHES AND COMPOSITION.

**Acceptable Roof Materials:** Materials for roofs are to be two-piece barrel tiles, flat tile, slate, metal or built-up roofing for flat roofs. Roof tiles should utilize a minimum of four different, muted, earthtone, complimentary colors, or diluted factory blends that create a subtle, multi-color surface. The overall color impression of the roof should be dark, blending with the colors of the adjacent landscape and vegetation. Flat roofs must be painted a very dark color (LRV of 26 or lower) or be surfaced with a material of a color that harmonizes with the natural surrounding and has an LRV of less than 26. SEE FIGURE 5.6 – ROOF COLOR AND MATERIAL. Metal materials that weather are allowed, but they cannot be reflective and must be left unsealed so that they may weather. All roof materials must be non-combustible.

**Unacceptable Roof Materials:** Reflective roof finishes, any metal material that may cause excessive glare, and asphalt or wood shingles are not acceptable. Simulated roof materials are not acceptable.



(Right and Below) Figure 5.6 – Roof Color and Material

**Eave Depths:** Eaves shall be incorporated, where appropriate, to a 2-foot minimum. Exposed rafter tails with wooden soffits are encouraged on sloped roof designs. SEE FIGURE 5.7 – EAVE DESIGN.

**Fascias:** In general, pitched roof fascias shall be 6-inch, being of sufficient size to support a gutter. Flat roof fascias shall be appropriately scaled to the Building Massing, not be a dominant element in the overall composition and contain some texturing to achieve an interplay of light and shadow. Large, plain stucco fascias are unacceptable.

**Gutters and Downspouts:** Gutters, if used, shall be incorporated into the overall design of the house. Gutters and downspouts shall not appear as if they were "tacked" on.

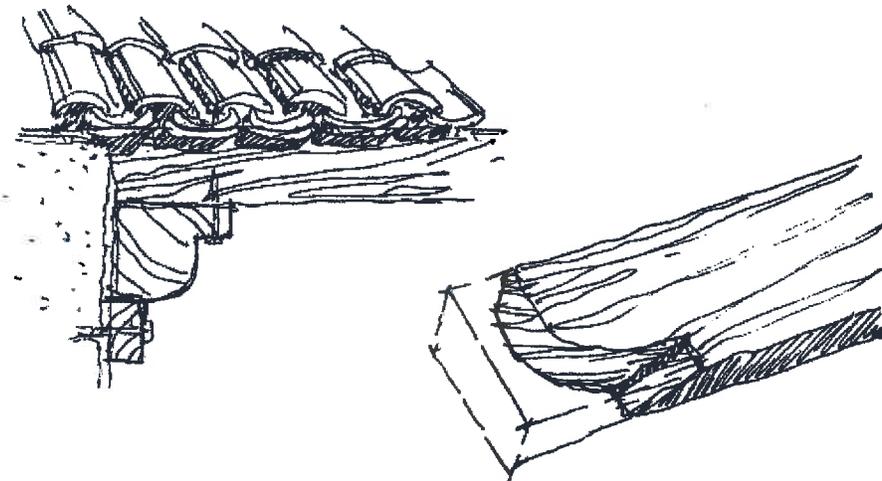
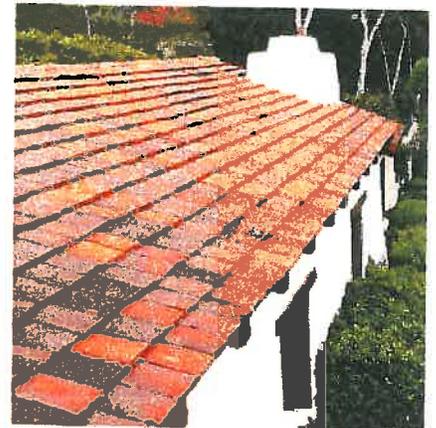


Figure 5.7 – Eave Design

## 5.6 EXTERIOR WALLS

In general, the exterior wall design of all Residences and Improvements may incorporate the use of at least two different complimentary materials in order to create subtle textural changes and to further articulate masses.

Exterior walls of a single material may be acceptable if, in the opinion of the DRC, they meet the requirements of these Guidelines, are consistent with the Community's aesthetic goals and are appropriate to the particular architectural style.

**Exterior Wall Design:** The minimum exterior wall thickness shall be sufficient to allow windows to be recessed a minimum of 6-inches on the street and golf course elevations and 3-inches on the side yard elevations. Walls shall be simple, refined compositions of one or two materials in a logical structural relationship and consistent in material use with architectural design. Changes in material shall occur on the inside corners of masses.

**Exterior Wall Height:** In general, the exterior wall height from finish floor to top of wall plate shall be 10-feet for the first floor and 9-feet for the second floor. Flat roofed buildings may have a first floor plate height up to a maximum of 14-feet. In no case shall an

unbroken vertical plane be more than 12-feet in height. The DRC will consider, on a case by case basis, exceptions for details, such as gable end walls, if the exceptions are demonstrated to be part of the architecture style and are in scale with the overall Community.

**Acceptable Materials:** Natural Stone, wood (as an infill or accent material), stabilized adobe block, and stucco with architectural accent elements such as fascias, beams, window and door treatments and/or trim utilizing wood, stone, tile and/or ornamental metal.

**Stone/Rock:** Stone may be used in the following manner:

- as a foundation element with plaster/stucco walls above;
- as full height walls when used as the predominant wall material or as a foundation base; and/or
- as an accent in a cut pattern surrounding doors, windows or openings.

**Stone Masonry:** Preferred styles are either a dry-laid, semi-coursed structural appearance or uncoursed stone with minimal grout showing. Other styles will be submitted for review by the DRC. Thin stone veneers applied in geometric or random patterns that are not structural in appearance are not per-





mitted. Where stone veneer is used, it must simulate the use of stone laid in a structural manner. The stone should wrap elevations and return into walls and window openings with a preferred minimum return wall depth of 4-feet. The use of faux, or cultured stone is not allowed.

**Exterior Plaster and/or Stucco:** Stucco may be utilized for foundation elements or full height walls as discussed above in Stone/Rock. Walls shall have a "handcrafted" appearance utilizing wavy textures or troweled patterns in a light to medium texture. Heavily textured stucco patterns will not be permitted.

**Adobe Block and Slump Block:** The use of adobe or slump block as a principal building element is encouraged due to their natural properties of insulation and the ability to create straight and/or gently curved walls with a "handcrafted" appearance. Adobe may be exposed or properly sealed with stucco to resist temperature changes or inclement weather.

**Rammed Earth and Earth Bale Structures:** The use of rammed earth and earth bale

structures is encouraged when it meets the standards of local building requirements. Many custom home builders attempt to mimic the look of earthen architecture with frame and stucco construction. These imitations rarely achieve the elegance or energy advantages of authentic earth wall systems. The thick walls of the houses work well with a variety of architectural styles and are energy efficient, environmentally friendly, non toxic, sound-buffering, and termite and fire resistant. The result is a regionally appropriate home which reflects uniqueness and a commitment to quality and long term value.

**Unacceptable Materials:** Materials which are inappropriate are exterior plaster or stucco using a heavy texture such as a swirl pattern, heavy sand, Spanish lace, or heavy troweled pattern, thin stone veneers that are not structural in appearance, reflective surfaces other than glass, wood, vinyl or aluminum siding, faux stone, cultured stone, large expanses of unshaded glass, metal cladding, and/or exposed concrete or concrete block.



(Both pages) Figure 5.8 –  
Door and Window Designs

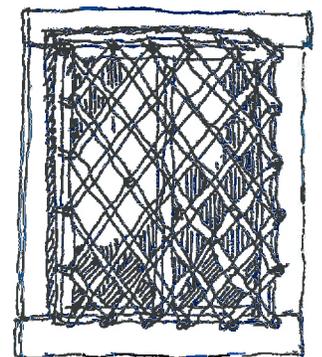
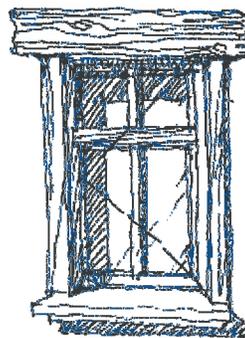
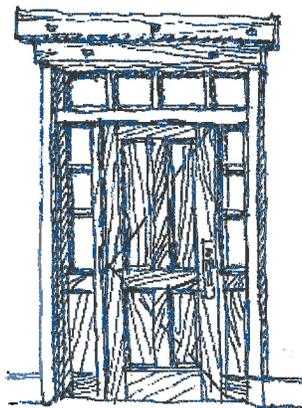
## 5.7 DOORS AND WINDOWS

All windows and doors shall be deeply recessed and shaded to create pattern, texture and lend a sense of thickness to the walls. Careful consideration shall be given to the fenestration design for each elevation. The size, number, placement and rhythm of windows and doors in relation to the Building Masses and exterior surfaces should create a complete and balanced composition.

**Casement, Double or Single Hung Windows:** Windows shall be deeply recessed a minimum of 6-inches on street/front and golf/rear elevations, and 3-inches on side elevations. Windows may utilize shallow arched, square or vertical shaped forms. Divided lite windows shall utilize true divided lites.

**Doors:** Single or double door units, paneled, naturally stained wood, metal and/or multi-paned glass are acceptable. Wood doors may be carved and/or have rough-sawn appearance. Door designs should be consistent with each other, utilizing similar jamb, head and panel designs around the entire exterior of the house. Where vents are required for exterior mechanical room doors, full height louvers should be used. SEE FIGURE 5.8 - DOOR AND WINDOW DESIGNS.

**Sliding or Pocket Doors:** with large glazed openings may be used provided they are protected by a trellis or overhang providing deep shade over the glazed area. The depth of this trellis or overhang is encouraged to be 1.5 times the door head height but in no case shall it be less than 12-feet in depth.



**Window and Door Materials and Colors:**

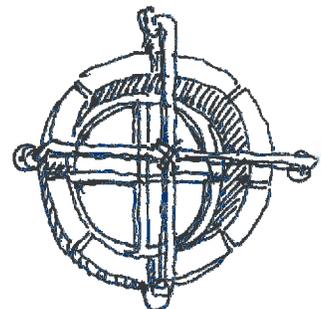
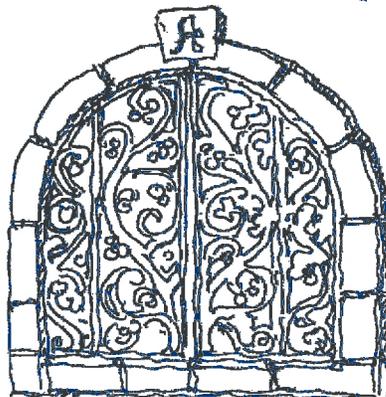
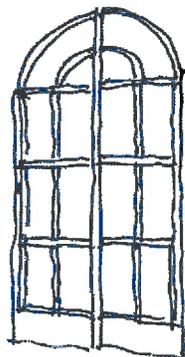
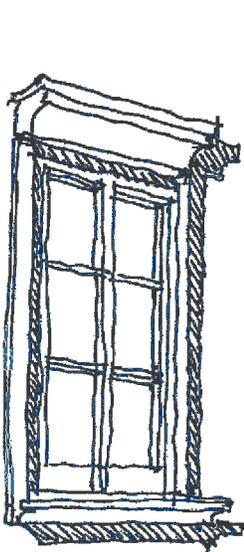
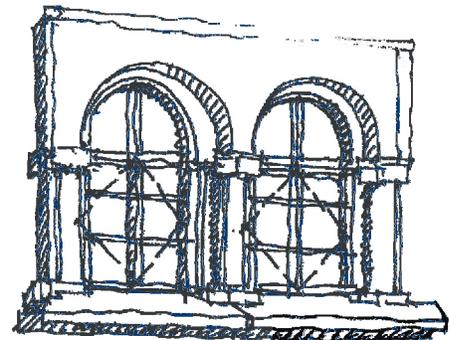
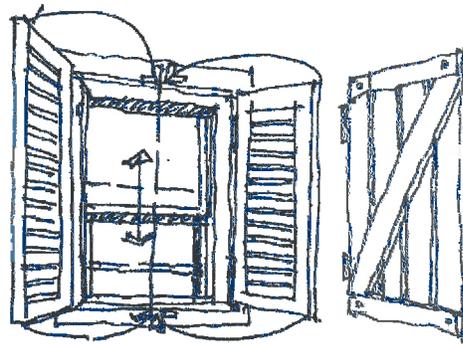
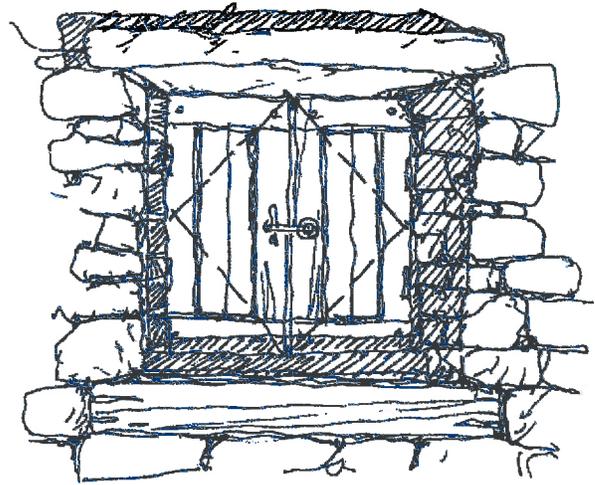
Wood-clad or metal non-anodized finish. Unfinished aluminum, vinyl or shiny metals are not permitted. Doors, window and door frames may be stained and/or painted.

**Accent Trim:** Wood, decorative tile and/or stone accent materials shall be used in a consistent manner around the structure.

**Shutters:** Operable or non-operable shutters of wood, naturally stained or painted in appropriate designs that borrow from regional vernaculars. Double shuttered windows shall be full sash height and half sash width for the window they adjoin. Single shuttered openings shall be full sash height and width for the window they adjoin. Shutters shall be set a minimum of 2-inches from the wall surface to create a distinct shadow. Shutters are discouraged from being used as a sole accent element and should be applied in an authentic manner. Shutters are discouraged from being applied solely as decorative elements to only a limited number of windows. If used, shutters should be uniformly applied as an architectural feature and should appear functional.

**Lintels:** Cut or rough stone board formed stirred concrete, decorative tile, cast stone and/or rustic, stained, rough sawn or refined wood.

**Glazing and Glass:** All glazing shall meet energy codes. Glass may be coated or tinted to control solar heat gain, but a reflective, mirrored appearance is not permitted.





(Both Pages) Figure 5.9 –  
Building Projection and  
Accessory Structure Design

## 5.8 BUILDING PROJECTIONS AND ACCESSORY STRUCTURES

The use of architectural extensions to provide shade and shadow, protect buildings from the intense sun and create a strong indoor/outdoor relationship are outlined below. The style and details of these architectural elements, such as column and eave treatments, should be consistent with the architectural design of the main Residence. SEE FIGURE 5.9 – BUILDING PROJECTION AND ACCESSORY STRUCTURE DESIGN.

### 5.8.1 PERGOLAS/TRELLISES/COLONNADES

Covered areas that connect separate Building Masses, extend the roofline and/or are freestanding are strongly encouraged.

### 5.8.2 ENTRY AND/OR SIDE PORCHES

Porches that provide shelter from the sun and accentuate entry areas are to be a minimum of 6-feet in depth. Flooring materials are to be natural stone, tile, colored concrete and/or colored concrete with stone and/or tile bands. In general, the flooring shall be an extension or natural complement to the flooring used in the interior of the building.

### 5.8.3 RAILINGS

Decorative iron or wood carved railing details shall borrow from building traditions consistent with the architectural style of the residence.

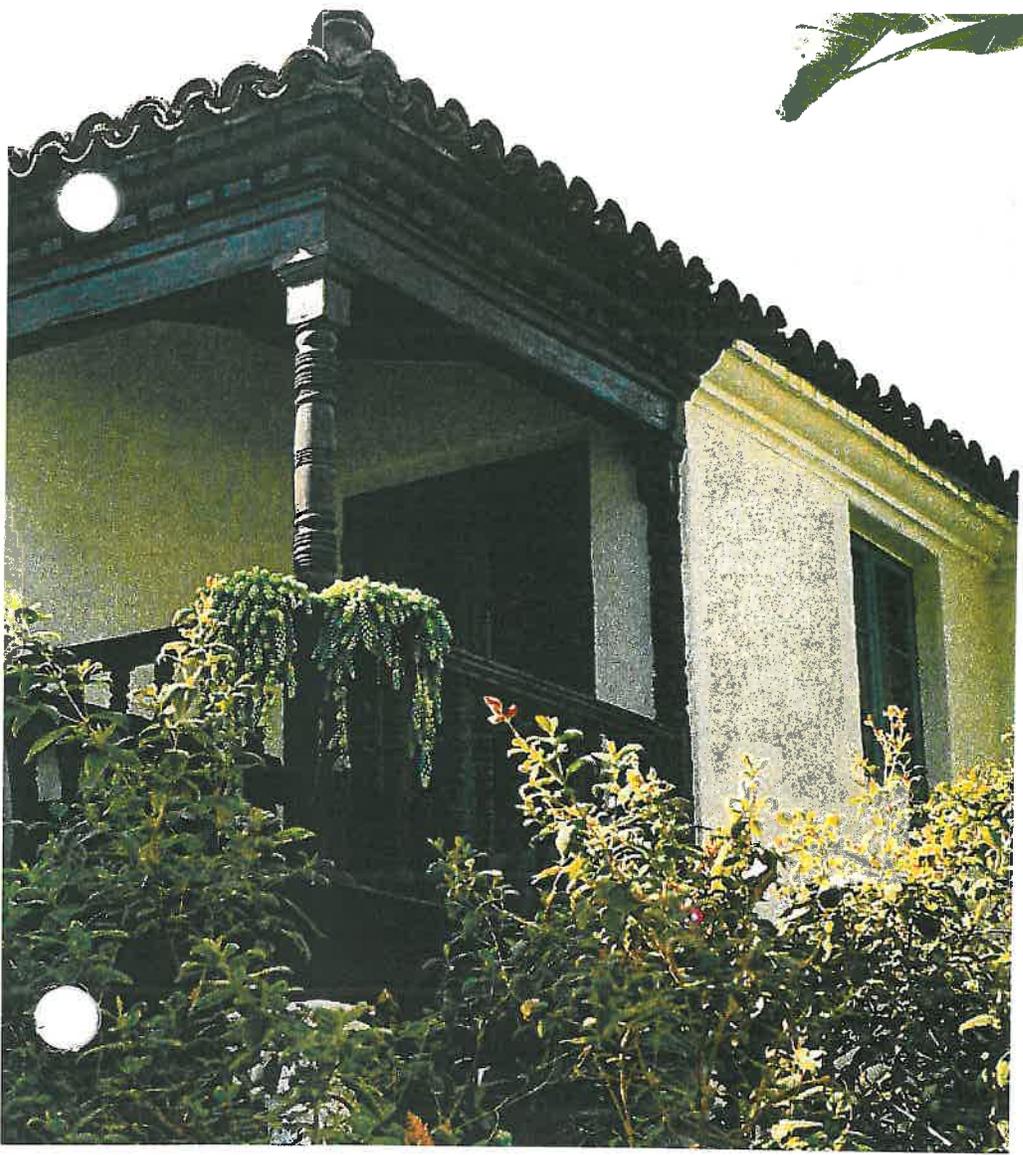
### 5.8.4 MECHANICAL EQUIPMENT, VENTS AND FLUES

Roof mounted mechanical equipment, vents and flues must not be visible from adjacent Lots or Common Areas. On sloping roofs, these elements must be concealed within architectural structures (i.e., chimneys). Small vents or flues may be painted to match the roof color. Ganging of vents/flues is required to minimize the number of projections. Roof mounted mechanical equipment is prohibited on sloping roofs. On flat roofs, all equipment, vents and flues must be concealed behind parapet walls, chimneys or other architectural elements and not be visible from adjacent Lots, Common Area or the golf course.

### 5.8.5 MISCELLANEOUS PROJECTIONS

All projections, including but not limited to, chimneys, chimney caps, vents, gutters, down spouts, utility boxes, services, etc. must be incorporated into the





overall design. These items must be included on the submittals and reviewed by the DRC for approval.

### 5.8.6 ACCESSORY STRUCTURES

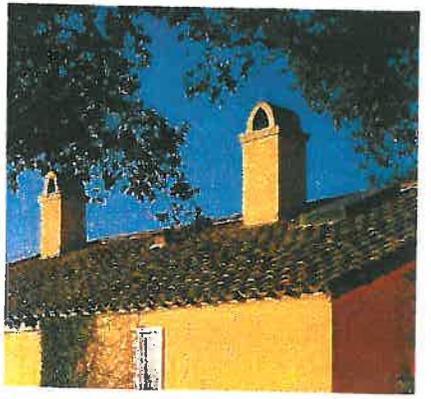
The design of accessory structures must be consistent with the main Residence, integrated into the overall Residence composition and are to be visually related to it by walls, courtyards, or major landscape elements. A freestanding guesthouse must comply with applicable City zoning regulations and have the written approval of the DRC.

### 5.8.7 CHIMNEYS

Fireplaces and chimneys can be dominant elements of an architectural composition. Accordingly, they must be proportionate to and consistently detailed with the overall design. The maximum horizontal chimney dimension shall be 8-feet unless it can be demonstrated that a larger dimension is appropriate to the architectural design and supports the aesthetic goals of the Community. Fireplaces must be equipped with an approved spark arrester. Flue pipes are required to be encased with a chimney enclosure of masonry or stucco and supported by a foundation at grade when located on an exterior wall. Chimneys located on exterior walls must be structural in appearance and relate to other expressed structural elements in the design. Exposed metal flues are unacceptable.

### 5.8.8 AWNINGS

Canvas or similar type awnings over windows or doors are strongly discouraged and will be allowed only if not visible from Common Areas, the golf course or adjacent Lots and must be a subdued, earth tone color.



### 5.9 COLOR

The color palette for residences at Skywater will use muted and recessive colors that will allow the natural colors of the desert to predominate, complementing rather than contrasting with the setting. This palette is based on the colors and hues of the surrounding desert geology and landscape. SEE FIGURE 5.10 – COLOR DESIGN.

In general, this will require adhering to the following basic color concepts:

- **Earth Tones:** Earth tone colors, with their organic origins, should be used for the primary color composition.
- **Recessive Colors:** Colors that recede, rather than advance, should be used. Generally, these are darker colors. A wide variety of colors may be used but for most architectural styles, a Light Reflective Value (LRV) of 44 or lower is required. All paint manufacturers categorize their products by LRV and this information is readily available if not indicated directly on color swatches. Light or bright colors generally have an LRV greater than 44.
- **Multi-hued:** Large areas of monochromatic surfaces tend to stand out in the bright Texas sunshine. As a result, colors which have a “tonal complexity” should be employed. With certain materials, such as stucco, this multi-hued quality may be achieved through surface texture and quality.

#### COLOR AND ARCHITECTURE STYLE

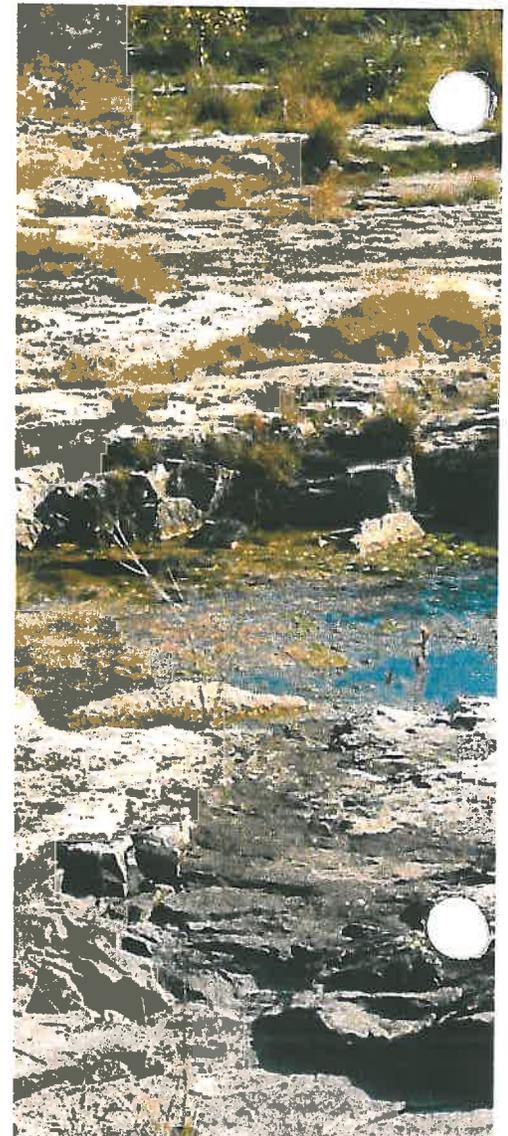
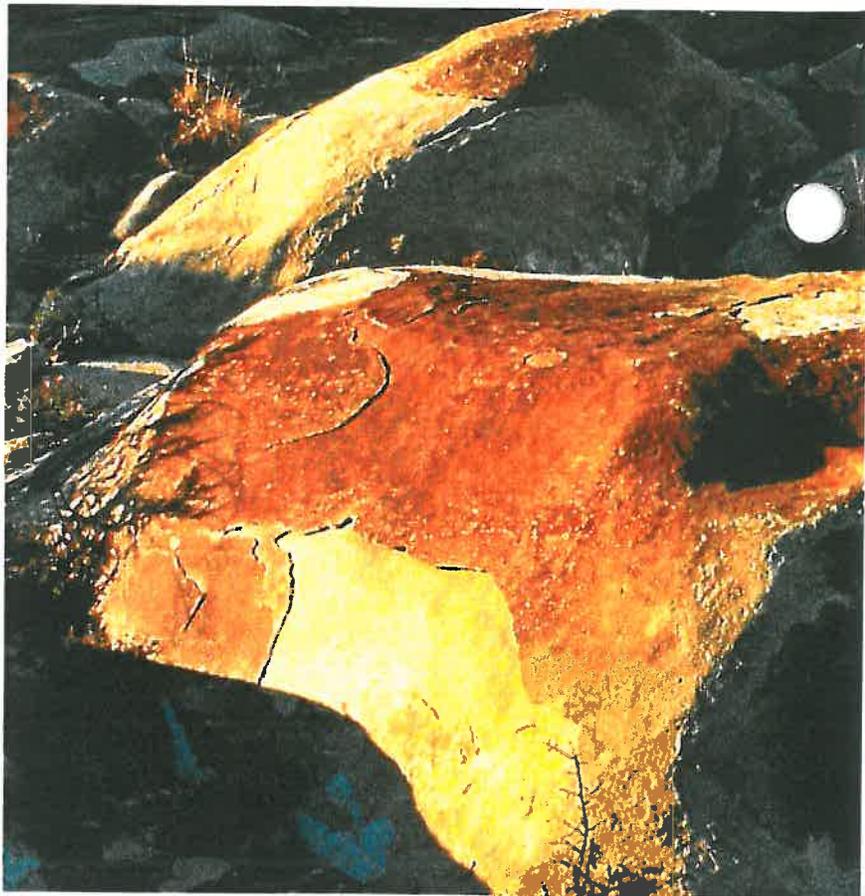
Color is an important component to creating authenticity in architectural style. Accordingly, general hue and LRV ranges have been identified for a number of architectural styles that are expected to be built at Skywater. Below are some anticipated styles and the appropriate color approaches. Obviously, all potential architectural styles that may be submitted cannot be anticipated so designers are strongly encouraged to discuss their color approach with the DRC during the Concept stage of design.

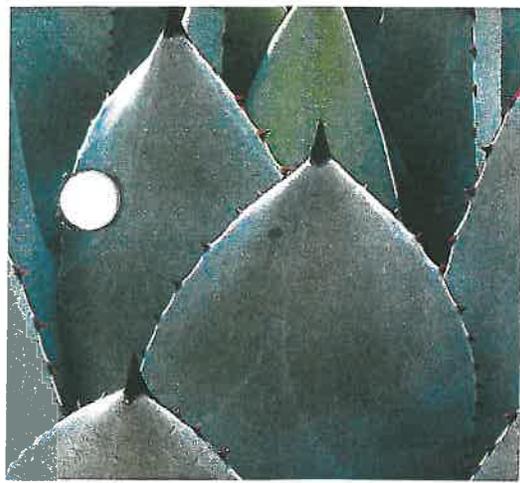
**Santa Fe, Pueblo or similar:** Darker earth tone colors of browns, ochres and terra cottas with an LRV of 38 or lower.

**Spanish Revival, Spanish Colonial, or similar:** Lighter colors utilizing beiges, creams or ochres with an LRV of 60 or lower or darker earth tone colors of browns, ochres and terra cottas with an LRV of 44 or lower.

The DRC will consider color in the context of the entire Community as well as the individual Residence for submission.

The Committee will review and approve colors and textures in a three step process. During the Concept Design phase, the applicant may describe the color palette and indicate those colors on the exterior elevations. In the Preliminary Design and Final Design Submissions the





applicant will submit actual color and material samples. Based on these, the applicant will, during the construction phase, then be required to provide a 48 square foot panel on site of the intended colors, materials and textures of the major building elements for final approval.

The palette and following guidelines apply to all exterior surfaces of the house, including walls, parapets, roofs and all related fences and walls:

- No exterior materials used shall have a high gloss, glare, or reflective "mirror" type finish.
- Color application shall be used consistently throughout each home for all the building(s) and related outdoor areas and/or structures.
- Colors for large field application shall be a combination or layering of two or three colors to achieve a "multi-hued" quality which changes with light and shadow, rather than a "flat" appearance. Large, monochromatic surfaces, with the exception of flat roofs, are not acceptable.
- In general, colors for roofing shall be darker in color or hue than the building's exterior walls.
- Colors for large field application should be recessive in value, while accent color, used in limited areas, may "advance" towards the viewer.
- Accent colors should be carefully considered for front doors, window sashes and other architectural elements so that they do not dominate or overwhelm the overall color composition.
- Exterior hardscape colors should be complementary to exterior home colors.
- Changes in exterior wall color should be made at "interior" intersections of walls.

Roofs: Medium to dark browns and grays, color shall have a LRV of 35 or lower. Flat roofs shall have an LRV of 26 or lower.

Walls: Natural earth tones. Large areas of monochromatic surfaces shall be minimized. Wall surfaces shall utilize texture and/or multi-layered applications of color where possible to achieve subtle color variation on walls. Walls shall have an LRV value range of 44 or lower. Wall colors with a higher (brighter) LRV of 44 will be considered when a substantial portion of the exterior wall surfaces utilize a darker stone or a lighter color is appropriate to the architectural style.

Trim and Accent Colors: Accent areas shall have an LRV value of 55 or lower.

Figure 5.10 – Color Design.  
The colors of the Texas Hill Country as inspiration for architectural color palettes

## 5.10 DECORATIVE ELEMENTS

Texas vernacular architecture contains a rich inspirational reservoir of decorative arts that may be incorporated into the Residences. With their intimate spiritual connection to the land, the buildings and crafts of the local native inhabitants, heritage of traditional Mexican design, and Mediterranean influence brought by the Spanish colonial conquistadores, offer many opportunities for decorative elements to be incorporated into homes suited for contemporary lifestyles. Later cultural influences, primarily Spanish in origin, created the Mission and Colonial styles, which offer a vast array of motifs as well. More contemporary Mediterranean influences are also appropriate.

Metals, such as hand forged iron, tin and/or copper, carved stone, carved wood and/or decorative tiles may be used for fastenings, accent areas or for decorative purposes. Forms and motifs are to be consistent with the overall architectural style and draw upon Texas vernacular or contemporary building traditions.

Wood Accent Elements: Due to climactic extremes and attendant maintenance issues, the use of wood on a residential exterior should be carefully considered and limited to accent areas or specific building elements such as entries, windows, beams, doors, covered porches and/or courtyards. Carved wood designs may draw their inspiration from indigenous crafts such as pottery, basket and/or textile designs and/or building techniques of the region such as traditionally carved canales, vigas, corbels and/or beams.

Ornamental Metal Accent Elements: Metal may be used for railings, decorative window grilles, and/or gates provided that the design draws upon the indigenous patterns and styles of the region, is not reflective and has the appearance of iron, weathered bronze, brass or copper. SEE FIGURE 5.11 – DECORATIVE ELEMENTS.



(Both Pages) Figure 5.11 –  
Decorative Elements

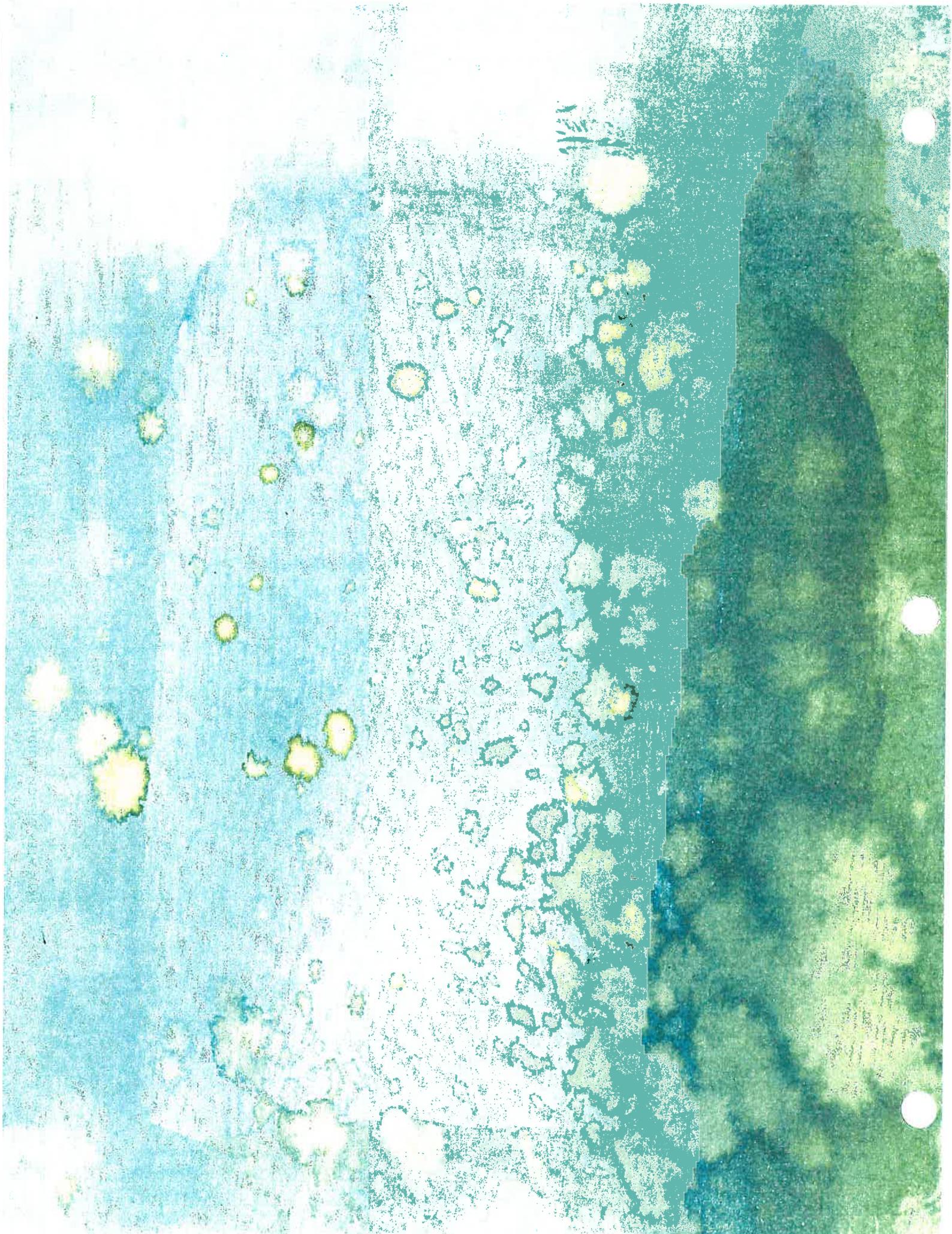


### 5.11 UTILITIES

**Cooling and Heating Equipment** - All equipment shall be located within the Building Envelope and fully screened from Common Areas, the golf course, and adjoining Lots. Ground-mounted units are encouraged. The design shall locate units so as to minimize noise associated with the operation or maintenance of the units. Screen walls shall completely enclose the units, with the wall a minimum of one-foot higher than the highest part of the unit. In some cases, privacy walls may be sufficient to achieve screening of equipment areas, eliminating the need for a 'double' wall. Roof-mounted units on sloped roofs are not allowed. Acoustic wall and/or covers may be required if it is discovered that noise emanating from enclosures are a nuisance to adjoining Lots, the golf course or Common Areas.

**Solid Waste Disposal** - Trash and refuse areas shall be designed as integral parts of the building design. These areas must be screened from Common Areas, the golf course, and adjoining Lots. Covers on trash enclosures may be required if it is discovered that odors emanating from enclosures are a nuisance to adjoining Lots, Common Areas or the golf course. All trash containers must have sealed lids.





## chapter 6 life safety considerations

### 6.1 ENERGY AND RESOURCE CONSERVATION MEASURES

The following chapter presents ways in which to build resource and energy-efficient buildings. Site and building design with construction techniques which utilize the latest advances in energy and resource conservation and home technology are encouraged. New building technologies, innovative building materials, thoughtful site planning and creative construction systems can be used to create more energy-efficient, durable, and better quality homes.

The following measures are strongly recommended in the planning and design of a home at Skywater.

#### Suggested Energy Efficiency Measures

- Living areas, such as living rooms, dining rooms, kitchens and bedrooms, should be planned for maximum ventilation. Locate windows for natural light and cross-ventilation. Shading devices should be used for unwanted heat gain.
- Consider increasing the required insulation in walls, ceilings and foundations to reduce energy consumption and to lower utility bills.
- Seal and insulate duct work and locate in "conditioned" spaces where possible.
- Install high-performance windows.

#### Suggested Resource Efficiency Measures

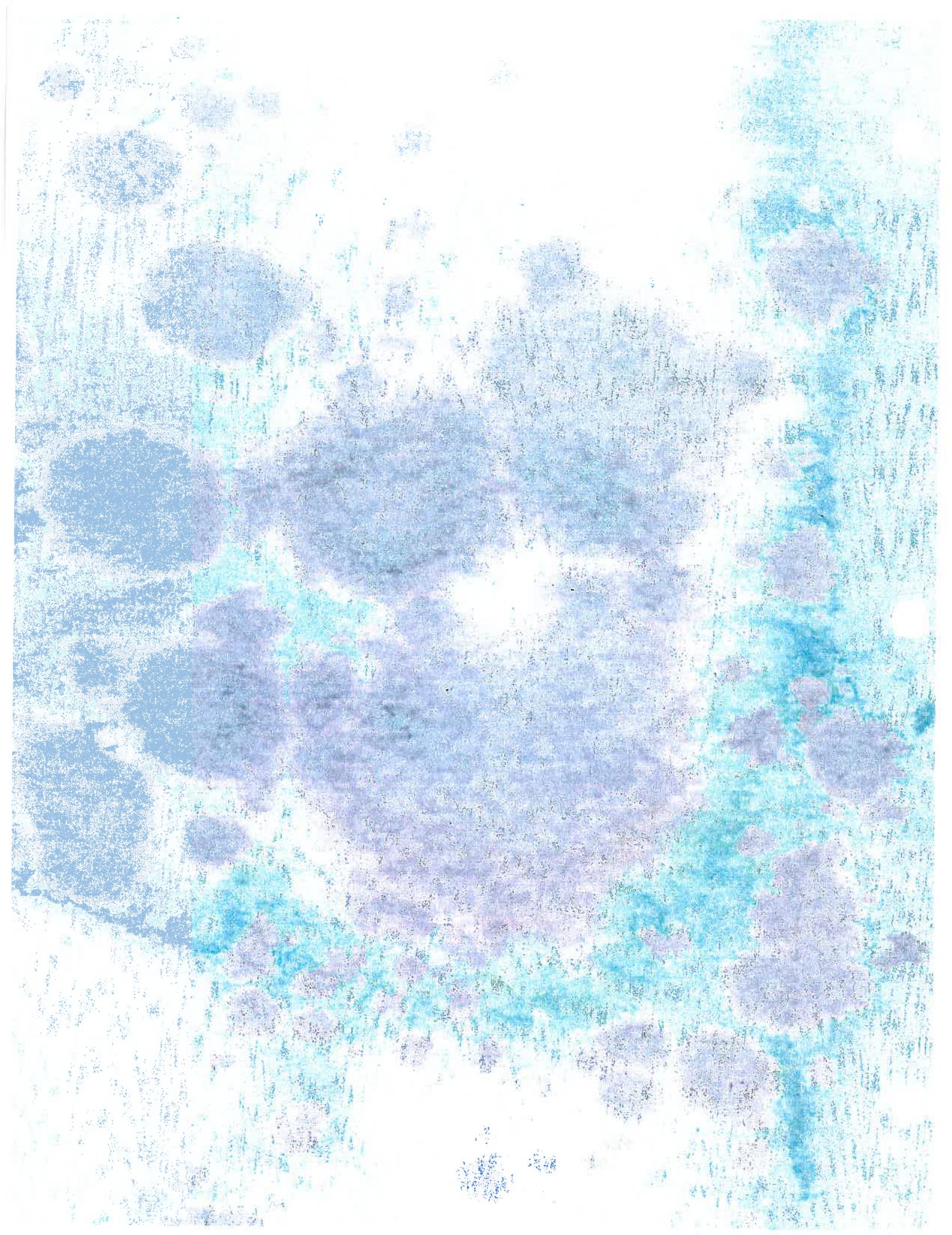
- Building construction and design should emphasize efficient building practices and the reuse and reduction of materials. Sort construction and demolition waste for recycling by utilizing job site bins for wood, metals, wallboard, etc.
- Building designs should include adequate space for recycling bins in kitchens, utility areas, and trash enclosures.
- All buildings should utilize high-efficiency (low flow) showerheads, toilets, faucets and similar appliances.

### 6.2 SKYLIGHTS

The primary aesthetic concerns regarding skylights are reflecting glare during the day or light glare at night. Accordingly, they shall be located to minimize their visibility from off-site and there shall be a maximum of 40-square feet of skylights on any residence. Skylights on flat roofs must be surrounded by a parapet 12-inches minimum above the highest point of the skylight and located no more than 12-inches from the skylight. Skylights must be integrally designed into the roof structure. Skylight glazing shall not be back-lit or manufactured of reflective material. Skylight framing and glazing shall be colored or coated to match adjacent materials. Light emanating from the interior through a skylight is subject to the same controls as light emanating from a window as described in Section \_ Lighting. Glazing shall be either tinted bronze or gray. Bubble-type glazing is not permitted.

### 6.3 SOLAR EQUIPMENT

Solar power-generating and/or photo voltaic ("PV") equipment is encouraged but should integrate with the architectural design of the roof structure or be ground mounted. Solar panels or PV roof-tiles may not be visible to adjacent properties, the golf course, Common Areas or the street. All solar designs must be reviewed and approved by the DRC.



## chapter 7 construction and builder regulations

### **7.1 PRE-CONSTRUCTION CONFERENCE**

Prior to commencing construction, the Builder must meet with an authorized representative of the DRC to review the approved Final Plans, the Construction Area Plan, the Construction Regulations, and to coordinate scheduling and construction activities with the DRC. At this meeting, the Builder or Owner must bring a copy of the Building Permit issued and any related use permit from the City of Horseshoe Bay Building Department.

### **7.2 CONSTRUCTION AREA**

Prior to the commencement of any Construction Activity the Builder will provide the DRC, for its approval, with a detailed plan of the proposed Construction Area showing the area in which all Construction Activities will be confined and how the remaining portions of the Lot will be protected.

This Construction Area Plan will designate the location and size of the construction material storage and parking areas, and the locations of the chemical toilet, temporary trailer/structure, dumpster, debris storage, fire fighting equipment, utility trenching, limits of Excavation and erosion control.

The Builder shall be responsible for repair of any damage to Common Area or Developer installed irrigation or landscape to the satisfaction of the DRC. There shall be no staging of construction equipment or materials on adjacent lots to the Owner's Lot. All staging within Skywater must occur on the Owner's Lot.

Fencing Requirements: The Plan should identify the area to be fenced with chain link with tan shade screen fencing or similar methods acceptable to the DRC for the protection of existing landscaped areas, to screen construction activities and to control dust. Such fence or screening material shall be maintained in good condition during the course of construction of the Residence and related Improvements. One entrance into the fenced enclosure shall be located at the driveway entry. Care must be taken to avoid, or if unavoidable, minimize the visual impact of the Construction Area on neighboring Lots, Public Common Areas and roads. Prior to construction, all golf course planting, side yard planting and streetscape elements will be photographed by DRC to record existing site features.

### **7.3 CONSTRUCTION DEPOSIT**

After the DRC approves an Owner's proposed Construction Area Plan as described in Section 7.2, and prior to commencing any Construction Activity, a Construction Deposit shall be delivered to the DRC, on behalf of the Association, as security for the project's full and faithful performance of its Construction Activity in accordance with its approved final plans. This Construction Deposit shall be a cash bond. In addition, the Construction Deposit may be drawn upon to pay for repairs to adjacent lots and/or Common Areas damaged during Construction.

The amount of the Construction Deposit shall be \$15,000 per Lot or such greater amount as determined by the DRC for all Lots within the Skywater Community. This amount may be adjusted annually by the DRC.

As noted above, the DRC may use, apply or retain any part of a Construction Deposit to the extent required to reimburse the DRC for any cost that the DRC may incur on behalf of the project's Construction Activity. Any monies shall be reimbursed to the DRC for any fees incurred by the DRC to restore the Construction Deposit to its original amount. Construction Activity shall be halted until the Construction Deposit is brought up to the original amount.

The DRC shall return the Construction Deposit to the Owner within 15 working days after the issuance of a Notice of Completion from the DRC.

### **7.4 ACCESS TO CONSTRUCTION AREA**

Skywater requires all Builders to comply with the following:

- 1 Restrict access to the Construction Area only through the Skywater construction gate.
- 2 Identify all vehicles entering Skywater with the Builder's name and job site.
- 3 Enforce hours of access, speed limit and route of travel on the Skywater road system as specified by the DRC.
- 4 Limit access to the Construction Area only on designated routes as specified by the DRC.
- 5 Consolidate all deliveries of materials and equipment to the extent feasible.
- 6 Acquire transponders per the club's requirements at their own expense.

### **7.5 VEHICLES AND PARKING AREAS**

Only vehicles, equipment and machinery that are essential to any Construction Activity may park within the Construction Area or such other specific area designated by the DRC so as to minimize potential damage to existing vegetation, utilities, landscape, or other Improvements. The City of HSB has ordinances for Parking and loading related to construction vehicles.

### **7.6 STORAGE OF MATERIALS AND EQUIPMENT**

All construction materials, equipment and vehicles will be stored within the fenced boundary of the DRC-approved Construction Area. Equipment and machinery will be stored on-site only while needed.

## 7.7 CONSTRUCTION

### Activity Times

The time of construction will be limited to:

#### October 1st - April 30th

Monday - Friday, 7:00 a.m. - 5:30 p.m.

Saturday, 8:00 a.m. - 5:00 p.m.

#### May 1st - September 30th

Monday - Friday, 6:00 a.m. - 7:00 p.m.

Saturday, 8:00 a.m. - 5:00 p.m.

No construction operations may occur on Sundays, New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day, and Christmas Day or as may be prohibited by local ordinance. Essentially quiet activities that do not involve heavy equipment or machinery may occur at other times subject to the review and approval of the DRC. No personnel are to remain at the Construction Site after working hours.

## 7.8 CONSTRUCTION TRAILERS AND/OR TEMPORARY STRUCTURES

Any Owner or Builder who desires to bring a construction trailer or the like to Skywater must obtain written approval from the DRC. The DRC will work closely with the Owner and/or Builder to site the trailer in the best possible location to minimize impacts to the site and to adjacent parcel Owners. All such facilities will be removed from the Lot prior to issuance of a Certificate of Occupancy. It is encouraged that construction trailers be painted colors that will not stand out in the landscape. Owner or Builder is required to obtain any use permits from HSB necessary to utilize a temporary structure.

The suggested colors are:

- Body and/or Trim: Kelly-Moore, Flat 99-0108SE or Benjamin Moore, Flat 998
- Trim: Kelly-Moore, Flat 99-1663SE or Benjamin Moore, Flat 1000

Temporary living quarters for the Owner, Builder or their employees on the Lot will not be permitted.

## 7.9 SANITARY FACILITIES

Sanitary facilities must be provided for construction personnel on-site in a location approved by the DRC. The facility must be located in an area on-site that does not impact adjacent Residences and Roads, maintained regularly, and be the color "The Reserve Tan."

## 7.10 DEBRIS AND TRASH REMOVAL

Contractors must clean up all trash and debris on the Construction Site at the end of each day. Trash and debris must be removed from each Construction Site at least once a week and transported to an authorized disposal site. Lightweight material, packaging and other items must be covered or weighted down to prevent wind from blowing such materials off the Construction Site.

Contractors are prohibited from dumping, burying or burning trash anywhere on the Lot or in the Skywater Community. During the construction period, each Construction Site must be kept neat and tidy to prevent it from becoming a public eyesore or affecting adjacent Lots. Dirt, mud or debris resulting from activity on each Construction Site must be promptly removed from roads, open spaces and driveways or other portions of Skywater.

All excess earth generated by trenching and approved grading activities must be removed from the site. Any clean up costs incurred by the DRC or the Association in enforcing these requirements will be taken out of the Construction Deposit or billed to the Owner as needed.

### 7.11 HAZARDOUS WASTE MANAGEMENT

In order to be able to respond and monitor hazardous material use and/or spills, the Contractor shall comply with the following criteria listed below:

- The Contractor shall provide a contact person and telephone number for a company experienced in emergency response for vacuuming and containing spills for oil or other petroleum products.
- Absorbent sheets will be used for spill prevention and clean up. Several boxes should be located at fuel trucks, storage areas and in maintenance vehicles. Inventories must be maintained as necessary.
- A reportable spill is defined as a spill of one or more gallons and a significant spill is defined as more than ten gallons.
- The Contractor shall maintain a list of product names and a Materials Safety Data Sheet (MSDS) for all hazardous material products used or located on site.
- Before a hazardous material is stored, the Contractor shall check to ensure that:
  - The material is stored in an approved container;
  - The container is tightly closed;
  - The container has the proper warning label; and
  - The container is inspected for leaks.
- Any Contractor determined to be introducing hazardous materials into the sanitary sewer or storm drain system will be removed from the site.

### 7.12 EXCAVATION AND GRADING

A notice and possible permit must be received from Lower Colorado River Authority prior to construction and all required soil erosion controls specified in the ordinance must be installed prior to construction. During construction, erosion must be minimized on exposed cut and/or Fill slopes through proper soil stabilization, water control and revegetation. Grading operations may be suspended by DRC during periods of heavy rains or high winds. Blowing dust resulting from grading and construction operations must be controlled by watering. All topsoil disturbed by grading operations must be stockpiled and covered to minimize blowing dust within the Construction Area and reused as part of the site restoration/landscaping plans. All excess materials must be removed from the site in compliance with all regulatory agencies.

### 7.13 FOUNDATIONS

The Owner is encouraged to seek the assistance of a licensed Soil Engineer to examine and test soil conditions on her/his Lot prior to undertaking any design or construction. Declarant makes no representations or warranties, expressed or implied, as to the soil conditions. The DRC shall supply the Owner with Pad certification and compaction information, but the Owner shall verify prior to construction.

- The Owner and the Owner's Architect, Engineer and Contractor shall give due consideration to the design of the foundation systems of all structures.
- It is the Owner's responsibility to conduct an independent soils engineering investigation to determine the suitability and feasibility of any Lot for construction of the intended Improvement.

## **7.14 LOT SURVEY**

Prior to commencement of design, it is the responsibility of the buyer to obtain a survey by a Surveyor licensed in the State of Texas to confirm existing grades, tops and toes of slopes and any other features or Lot attributes that would affect the design of any Lot Improvement. See Appendix \_- Lot Survey Requirements.

## **7.15 START OF CONSTRUCTION AND TEMPORARY LANDSCAPE**

All Improvements commenced on a Lot shall be completed within 18 months after commencement according to approved Final Design Review plans unless an exception is granted in writing by the DRC. If an Improvement is commenced and construction is then abandoned for more than 90 days, or if construction is not completed within the required 18-month period, the Association may impose a fine of not less than \$100.00 per day (or such other reasonable amount as the Association may set) to be charged against the Owner of the Lot until construction is resumed or the Improvement is completed, as applicable, unless the Owner can prove to the satisfaction of the Board that such abandonment is for circumstances beyond the Owner's control.

For aesthetic and dust control reasons, the DRC may request Lot Owners who, in their opinion, are not diligently pursuing construction to install a water meter, turf, irrigate and maintain their Lots. Owners may elect to have the Association maintain the turf on their Lot for a monthly cost of \$200, excluding water cost.

## **7.16 DAMAGE REPAIR AND RESTORATION**

Damage and scarring to other property, including open space, adjacent parcels, roads, driveways, irrigation and/or other Improvements will not be permitted. If any such damage occurs, it must be repaired and/or restored promptly at the expense of the person causing the damage or the Owner of the Parcel.

- 1 To the Owner's satisfaction, revegetate the area disturbed immediately and maintain said vegetation until established; and,
- 2 Pay any fines imposed by the POA and the City of Horseshoe Bay or other governmental agencies, including but not limited to the Texas Department of Environmental Quality, the TNRCC (Texas Natural Resource Conservation Commission) or LCRA, as a result of said violation.

## **7.17 PROJECT COMPLETION AND CLOSE-OUT**

Upon completion of construction, each Owner and Builder will be responsible for cleaning up the Construction Site and for the repair of all property that was damaged, including, but not limited to, restoring grades, planting shrubs and trees as approved or required by the DRC, and repair of streets, driveways, pathways, drains, culverts, ditches, signs, lighting and fencing. Any property repair costs as mentioned above, incurred by the DRC or the Association, will be taken out of the Construction Deposit or billed to the Owner.

### 7.18 CONSTRUCTION OBSERVATIONS

In addition to the building inspections required by the City of Horseshoe Bay, the following construction observations must be scheduled with the DRC:

- 1 Site Observation -- This observation includes review of staking of the Construction Area including all corners of proposed buildings, driveways and extent of grading. In addition, flagging of all areas to be protected will be reviewed. An on-site mock-up for color and materials shall be constructed for approval by the DRC. A full-scale mock-up (minimum 4-feet by 8-feet) shall be constructed which accurately conveys all proposed exterior materials, colors, and detailing, including window, corner and trim details and/or details of areas where one material changes to another. This observation must be approved by the DRC prior to the framing observation.
- 2 Framing Observation -- This observation must be done prior to enclosure of exterior walls and roof. Final approval is contingent upon field mock-ups of all colors and materials at the appropriate time in the construction process and in sizes / context that will allow a clear understanding of the final product.
- 3 Final Observation -- This observation must be done prior to the Certificate of Occupancy issued by the City of Horseshoe Bay and may be scheduled when all Improvements, including all structures, landscaping and grading, have been completed.

### 7.19 CONSTRUCTION SIGNS

Temporary construction signage will be limited to one sign per Homesite. The sign shall not exceed 6 square feet of total area, and shall be located within 10-feet of the Construction Site entrance. All construction signs must be reviewed and approved by the DRC and the City prior to installation. Layout for the sign must be submitted to the DRC ten working days prior to a regularly scheduled meeting. Alternatively, the DRC may require the contractor to construct a standardized construction sign. The contractor should contact the DRC prior to sign fabrication to confirm the required sign type. SEE FIGURE \_\_ - CONSTRUCTION SIGN.

### 7.20 NO PETS

Construction personnel are prohibited from bringing pets, particularly dogs, into Skywater.

### **7.21 SECURITY**

Security precautions at the Construction Site may include temporary fencing approved by the DRC. Security lights, audible alarms and guard animals will not be permitted.

### **7.22 NOISE**

Builder will make every effort to keep noise to a minimum. Radios will not be allowed in order to minimize disturbance to neighbors, golf and wildlife.

### **7.23 NO FIREARMS**

No firearms are allowed in Skywater.

### **7.24 ALCOHOL/DRUGS**

No alcohol or illegal drugs are allowed on Skywater property at anytime.

### **7.25 CONSTRUCTION**

Personnel Conduct

Offensive, loud or unmannerly behavior exhibited by the Builder, its employees or subcontractors is not allowed and will not be tolerated. Builder shall be responsible for the behavior of his employees and subcontractors.

### **7.26 OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA)**

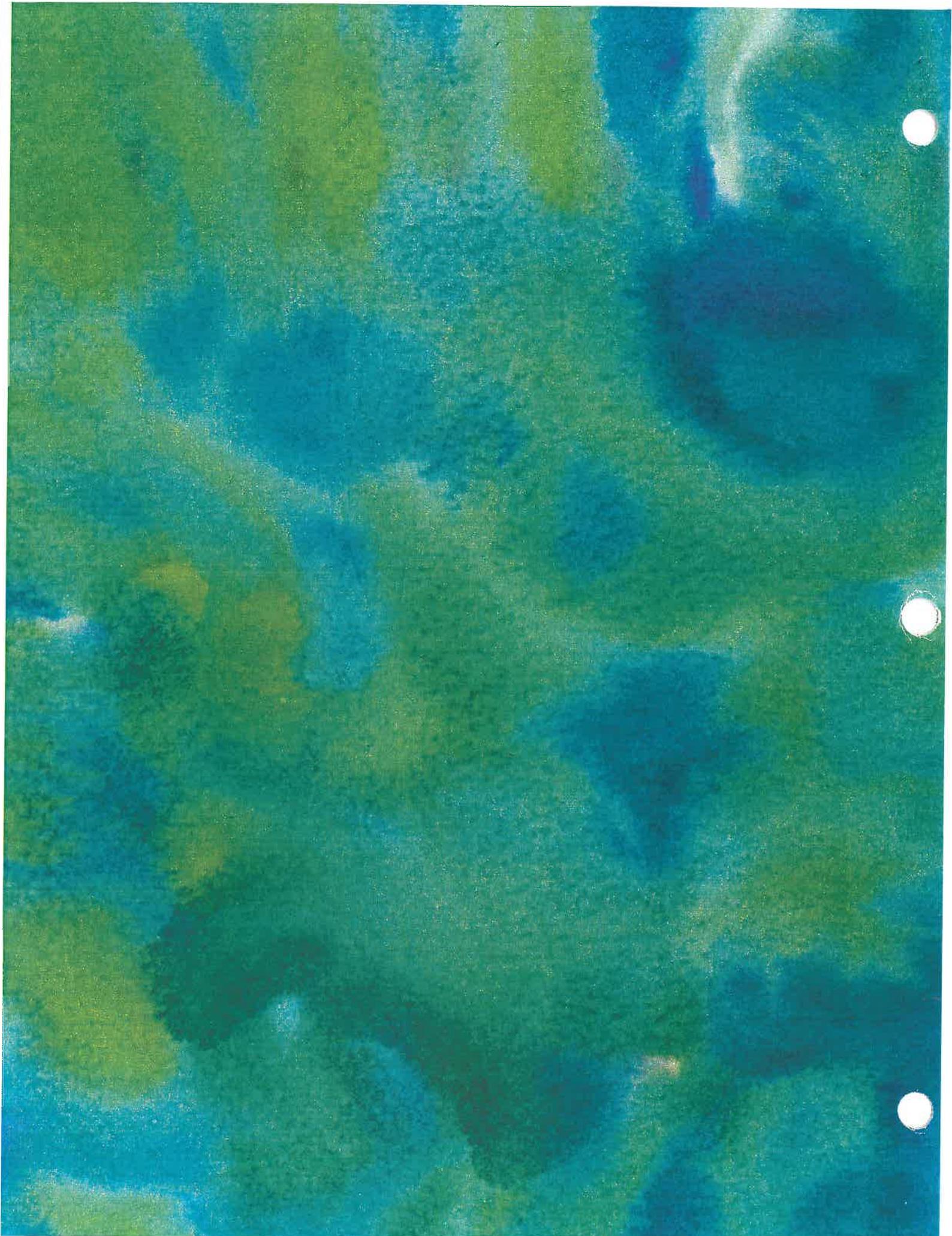
All applicable OSHA regulations and guidelines must be strictly observed at all times.

### **7.27 FIRE PROTECTION**

At least one full and operable 10 pound ABC rated dry chemical fire extinguisher shall be present and available in a conspicuous place on the construction site at all times. Absence of such a device may result in fines against the Builder or access of the Builder being denied to the construction site.

### **7.28 TERMITE PRETREAT**

A termite pretreatment is required during construction and must be accomplished during the Skywater Community's designated working hours with authorized access. No workmen or subcontractors are allowed to enter the property during "off" hours. Builders should make certain to schedule work accordingly and give subcontractors enough prior notice to schedule their crews within the Skywater Community's construction work hours.



## appendices

- A DEFINITIONS
- B APPROVED PLANT LIST
- C PROHIBITED PLANT MATERIALS
- D DRC APPLICATION FORMS

# appendix A definitions

*Unless the context otherwise specifies or requires the following words or phrases when used in these Design Guidelines shall have the following meanings:*

## **ACCESSORY STRUCTURE**

Any structure detached from the main Residence a minimum of ten (10) feet.

## **ARCHITECT**

A person licensed to practice architecture or landscape architecture in the State of Texas.

## **ASSOCIATION**

The term Association shall mean the Skywater Property Owner's Association, Inc. a Texas non-profit association, its successors and assigns, or any Property Owner's sub- Association, its successors and assigns as provided herein.

## **ASSOCIATION EASEMENT**

Those easements in favor of the Association that are within the Skywater Community, and that are shown on a recorded plan.

## **BOARD OF DIRECTORS**

The Board of Directors of the Association.

## **BUILDER**

A person or entity engaged by an Owner for the purpose of constructing any Improvement within Skywater. The Builder and Owner may be the same person or entity. However, if the Owner elects to act as Builder, a superintendent must be designated who will be on the job site and accessible at all times during construction.

## **BUILDER'S DEPOSIT**

The deposit that is required to be delivered to the DRC prior to commencing a Construction Activity.

## **BUILDING COVERAGE**

The total area of a Lot covered by building(s). Measured from outside of all exterior walls at ground level, it includes all exterior stairways, covered parking and outdoor rooms. It does not include roof overhangs, uncovered walkways, terrace or pool areas, and above-grade decks.

## **BUILDING ENVELOPE**

That portion of any Parcel designated as a Homesite, or Building Envelope, on the Homesite, or Lot Diagram, or described within these guidelines, and within which the construction of buildings, accessory and appurtenant structures and/or all Improvements are located. The Natural area is that portion of the Lot outside the Building envelope.

## **BUILDING HEIGHT**

The maximum Building Height shall be established by a plane measured vertically above existing or proposed grade; as the natural and/or proposed grade rises, the maximum height will rise accordingly. The overall height shall be measured from the highest parapet or roof ridge to the existing natural or proposed grade adjacent to the building exterior directly below.

## **COMMON AREAS**

All real property, including easements which the Association owns, leases, or otherwise holds possessory or use rights for the common use and enjoyment of the Owners including, without limitation, the Association Easements. The Common Areas include, but are not limited to, any Private Roads. The Common Areas do not include the Golf Club Facilities.

## **COMMUNITY**

All the property, and anything else that is part of specific areas owned by private Lot Owners, Homeowners Association, Common areas, and golf club within the boundary of Skywater.

## **CONSTRUCTION ACTIVITY**

Any site disturbance, construction, addition or alteration of any building, landscaping or any other Improvement on any Construction Site.

## **CONSTRUCTION SITE**

A site upon which Construction Activity takes place.

## **CONSTRUCTION VEHICLE**

Any car, truck, tractor, trailer or other vehicle used to perform any part of a Construction Activity or to transport equipment, supplies or workers to a Construction Site.

## **CUT**

Any reduction of earth, rock or other materials in the natural or man-made elevation of the surface of the land.

## **DECLARANT**

See definition contained in the Skywater CC&R's.

## **DESIGN GUIDELINES**

The architectural, design and construction regulations, restrictions and review procedures adopted and enforced by the DRC as set forth in this document and as amended from time to time by the DRC.

## **DESIGN REVIEW COMMITTEE (DRC)**

The DRC appointed by the Declarant and or Skywater Property Owner's Association Board as provided in the CC&R's to review and either approve or disapprove proposals and/or plans and specifications for the construction, exterior additions, landscaping, or changes and alterations within Skywater.

## **EXCAVATION**

Any disturbance of the surface of the land (except to the extent reasonably necessary for planting of approved vegetation), including any trenching that results in the removal of earth, rock or other substance from a depth of more than 12 inches below the natural surface of the land or any grading of the surface.

## **FILL**

Any addition of earth, rock or other materials to the surface of the land, which increases the surface of the land, which increases the existing elevation of such surface.

## **FINAL MAP**

The recorded final Subdivision map or Parcel map for any portion of Skywater.

**FLOOR AREA**

The sum of all horizontal floor areas of a building measured from the outside of all exterior walls.

**HOMESITE OR LOT DIAGRAM**

The term Homesite or Lot Diagram shall refer to the individual site plans for each Parcel provided to the Owner by the DRC at the commencement of the Design Review Process. Each Homesite or Lot Diagram specifies setbacks, Building Height and any special restrictions pertinent to the Parcel's development as recorded with Horseshoe Bay, together with any additional factors that the DRC may consider to be pertinent.

**HOMEOWNER**

See definition for Owner.

**IMPROVEMENT**

See Definition contained in the CC&R's.

**LOT**

Any portion of the Planned Community, whether improved or unimproved, which may be independently owned and is intended for development, use, and occupancy as (i) a dwelling or (ii) a private amenity. The term refers to the land which is part of the lot as well as any Improvements thereon. In the case of a condominium project containing multiple dwellings, each dwelling will be deemed to be a separate lot, even if the dwelling is "keyed off" or otherwise further divided for hotel or other rental use. In the case of a parcel of vacant land or land on which improvements are under construction, the parcel will be deemed to contain the number of Lots designated for residential use for such parcel in the Master Plan or Declarant's Site Plan, whichever is more recent.

**MAXIMUM FLOOR AREA**

The Maximum Floor Area to be built on a Lot with Floor Area defined above.

**MINIMUM FLOOR AREA**

See definition contained in the Skywater Planned development Agreement.

**NATURAL AREA**

The Natural Area is that portion of the Lot that lies outside the Building Envelope and must remain an essentially landscaped condition in accordance with these Guidelines.

**OUTDOOR ROOM**

An outdoor, covered living or lounge area attached to the Residence or guest unit that is open on a minimum of two sides. The open sides of Outdoor Rooms are not enclosed with screens or sliding doors of any kind.

**NEIGHBORHOOD**

All of the property or anything else that is part of the specific areas owned by private Lot Owners, Property Owners Association and Common area

## **OWNER**

See definition contained in the Skywater CC&R's.

## **PARCEL**

The term "Parcel" shall be those parcels of land, together with any appurtenances, subdivided by Declarant pursuant to the Horseshoe Bay subdivision approval for the Skywater Property.

## **PRIVATE AREA**

The private area is that portion of the building envelope on which all improvements must occur.

## **RESIDENCE**

The building or buildings, including any garage, or other accessory building, used for residential purposes constructed on a Parcel, and any Improvements constructed in connection therewith.

## **STORY**

That portion of any building (including garage) included between the surface of any floor and the surface of the floor above it, or if there is no floor above, then the space between the floor and the ceiling next above it. Any portion of a Story exceeding 18 feet in height shall be considered as an additional Story for each 18 feet or fraction thereof. If the finished floor level directly above a basement or cellar is more than six feet above grade, such basement or cellar shall be considered a Story.

## **TRANSITION AREA**

The Transition Area is that portion of the Building Envelope which is visible from the golf course or other Common Areas, streets and neighboring Home-sites and is adjacent to the Natural Area.

## **VISUAL BUILDING MASS**

The mass shall have a minimum depth and width of at least twenty (20) feet, be a minimum of five hundred (500) square feet in area, and be offset by at least two (2) feet horizontally and three (3) feet vertically.

## appendix B recommended plant material

Following is a partial list of plant material that will, with common horticultural practices, grow in the Hill Country region of Skywater. There are other plant materials that can be planted in this region with success. Consulting with a local Landscape Architect that specializes in Xeriscape and native plant materials, will expand this list.

In addition to this list, other plants meeting Xeriscape definitions with Hill County character may be substituted for review by the DRC. Plants denoted with an asterisk\* are known to be deer resistant. However, no plants are guaranteed to be deer proof due to drought, varying site locations and other unpredictable variables. The DRC welcomes any information concerning site specific plantings at Skywater.

### SHADE TREES

<i>Botanical Name</i>	<i>Common Name</i>	<i>Private</i>	<i>Transition</i>	<i>Natural</i>
<i>Acer rubrum</i> var. <i>drummondii</i>	Drummond Red Maple	■	■	■
<i>Bumelia celastrina</i>	Bumelia	■	■	
<i>Carya illinoensis</i>	Pecan	■	■	■
<i>Celtis laevigata</i>	Hackberry, Sugar Hackberry	■	■	
<i>Cupressus arizonica</i>	Arizona Cypress	■	■	
<i>Fraxinum texensis</i>	Texas Ash	■	■	■
<i>Juglans nigra</i>	Walnut	■	■	■
<i>Platanus occidentalis</i>	Sycamore*	■	■	■
<i>Populus deltoides</i>	Cottonwood (seedless)*	■	■	■
<i>Prunus serotina</i>	Escarpment Black Cherry	■	■	■
<i>Quercus macrocarpa</i>	Bur Oak	■	■	■
<i>Quercus muehlenbergii</i>	Chinquapin Oak	■	■	■
<i>Quercus fusiformis</i>	Escarpment Live Oak	■	■	■
<i>Quercus polymorpha</i>	Monterey Oak*	■	■	
<i>Quercus shumardii</i>	Shumard Oak	■	■	■
<i>Quercus texana</i>	Texas Red Oak	■	■	■
<i>Quercus virginiana</i>	Live Oak	■	■	■
<i>Sapindus drummondii</i>	Soapberry	■	■	■
<i>Taxodium mucronatum</i>	Monterzuma Bald Cypress	■	■	■
<i>Ulmus americana</i>	American Elm	■	■	
<i>Ulmus crassifolia</i>	Cedar Elm	■	■	■
<i>Ulmus parvifolia</i>	Laceback Elm	■	■	
<i>Juniperus ashei</i>	Ashe Juniper (Cedar)	■	■	■
<i>Juniperus virginiana</i>	Eastern Red Cedar	■	■	■
<i>Taxodium distichum</i>	Bald Cypress*	■	■	■
<i>Juglans microcarpa</i>	Mexican Walnut	■	■	■
<i>Quercus glaucooides</i>	Lacey Oak	■	■	■

\*Low land only

## ORNAMENTAL TREES

<i>Botanical Name</i>	<i>Common Name</i>	<i>Private</i>	<i>Transition</i>	<i>Natural</i>
<i>Aesculus pavia</i>	Buckeye, Red Buckeye	■	■	■
<i>Arbutus texana</i>	Texas Madrone	■	■	■
<i>Bauhinia congesta</i>	Anacacho Orchid Tree	■	■	■
<i>Cercis canadensis</i>	Redbud	■	■	■
<i>Cercis canadensis var. texensis</i>	Texas Redbud	■	■	■
<i>Chilopsis linearis</i>	Desert Willow	■	■	■
<i>Chitalpa tashkentensis</i>	Chitalpa	■	■	■
<i>Cornus drummondii</i>	Rough Leaf Dogwood	■	■	■
<i>Cotinus obovatus</i>	Texas Smoke Tree	■	■	■
<i>Diospyros texana</i>	Texas Black Persimmon	■	■	■
<i>Eysenhardtia texana</i>	Kidneywood	■	■	■
<i>Ilex deciduas</i>	Possumhaw, Red Haw	■	■	■
<i>Ilex vomitoria</i>	Yaupon	■	■	■
<i>Lagerstroemia x. hybrida</i>	Crape Myrtle	■	■	■
<i>Leucaena retusa</i>	Goldenball Leadtree	■	■	■
<i>Myrica cerifera</i>	Wax Myrtle	■	■	■
<i>Opuntia spp.</i>	Prickly Pear	■	■	■
<i>Parkinsonia aculeata</i>	Retama, Jerusalem Thorn	■	■	■
<i>Pistacia texana</i>	Texas Pistachio	■	■	■
<i>Prosopis glandulosa</i>	Honey Mesquite	■	■	■
<i>Prunus caroliniana</i>	Cherry Laurel	■	■	■
<i>Prunus mexicana</i>	Mexican Plum	■	■	■
<i>Punica granatum</i>	Pomegranate	■	■	■
<i>Rhamnus caroliniana</i>	Carolina Buckthorn	■	■	■
<i>Rhus lanceolata</i>	Flameleaf Sumac	■	■	■
<i>Rhus virens</i>	Evergreen Sumac	■	■	■
<i>Rosa banksiae</i>	Lady Banksia Rose	■	■	■
<i>Sophora affinis</i>	Eve's Necklace	■	■	■
<i>Sophora secundiflora</i>	Texas Mountain Laurel	■	■	■
<i>Ungnadia speciosa</i>	Mexican Buckeye	■	■	■
<i>Viburnum rufidulum</i>	Rusty Blackhaw Viburnum	■	■	■
<i>Viburnum suspensum</i>	Sandankwa Viburnum	■	■	■

## SHRUBS

<i>Botanical Name</i>	<i>Common Name</i>	<i>Private</i>	<i>Transition</i>	<i>Natural</i>
<i>Abelia grandiflora</i>	Glossy Abelia	■	■	■
<i>Agave americana</i>	Agave	■	■	■
<i>Amorpha fruticosa</i>	Indigobush	■	■	■
<i>Anisachanthus quadrifidus var. wrightii</i>	Flame Acanthus	■	■	■
<i>Berberis thunderbergii 'Atropurpurea'</i>	Japanese Barberry	■	■	■
<i>Berberis trifoliolata</i>	Agarita	■	■	■
<i>Buddleja davidii</i>	Butterfly Bush	■	■	■
<i>Buddleja marrubifolia</i>	Wooly Butterfly Bush	■	■	■
<i>Callicarpa americana</i>	American Beautybush, French Mulberry	■	■	■

SHRUBS (continued)

<i>Botanical Name</i>	<i>Common Name</i>	<i>Private</i>	<i>Transition</i>	<i>Natural</i>
<i>Cassia corymbosa</i>	Flowering senna	■	■	
<i>Cotoneaster</i> sp.	Cotoneaster	■	■	
<i>Dasyliirion texanum</i>	Sotol	■	■	■
<i>Dalea frutescens</i>	Black Dalea	■		
<i>Eleagnus pungens</i>	Eleagnus	■		
<i>Erythrina herbacea</i>	Coral Bean	■	■	
<i>Ageratina havanensis</i>	Shrubby Boneset	■	■	■
<i>Garrya ovata</i>	Mexican Silktassle	■	■	
<i>Hesperaloe parviflora</i>	Red Yucca	■	■	■
<i>Ilex cornuta</i> "Burfordii"	Burford Holly	■		
<i>Ilex cornuta</i> 'Rotunda'	Dwarf Chinese Holly	■		
<i>Ilex vomitoria</i> 'Nana'	Dwarf Yaupon Holly	■		
<i>Jasminum mesnyi</i>	Primrose Jasmine	■		
<i>Lantana horrida</i>	Texas Lantana	■	■	■
<i>Leucophyllum frutescens</i>	Cenizo, Texas Sage	■	■	■
<i>Malpighia glabra</i>	Barbados Cherry	■		
<i>Malvaviscus arboreus</i>	Turk's Cap	■	■	■
<i>Mimosa borealis</i>	Fragrant Mimosa	■	■	■
<i>Nandina domestica</i>	Nandina	■		
<i>Nerium oleander</i>	Oleander	■		
<i>Origanum vulgare</i>	Oregano	■	■	
<i>Philadelphus coronarius</i>	Mock Orange	■	■	
<i>Philadelphus texensis</i>	Texas Mock Orange	■		
<i>Rosa</i> 'Belinda's Dream'	Belinda's Dream Rose	■		
<i>Rosa</i> 'Cecile Brunner'	Cecile Brunner Rose	■		
<i>Rosa</i> 'Knock Out'	Knock Out Rose	■		
<i>Rosa</i> "Livin' Easy'	Livin' Easy Rose	■		
<i>Rosa</i> 'Marie Daly'	Marie Daly Rose	■		
<i>Rosa</i> 'Martha Gonzales'	Martha Gonzales Rose	■		
<i>Rosa</i> 'Mutabilis'	Mutabilis Rose	■		
<i>Rosa</i> 'Nearly Wild'	Nearly Wild Rose	■		
<i>Rosa</i> 'Old Blush'	Old Blush Rose	■		
<i>Rosmarinus officinalis</i>	Upright Rosemary	■		
<i>Rhus aromatica</i>	Aromatic Sumac, Fragrant Sumac	■	■	■
<i>Rhus glabra</i>	Smooth Sumac	■	■	■
<i>Rhus virens</i>	Evergreen Sumac	■	■	■
<i>Rosa laevigata</i>	Cherokee Rose	■		
<i>Sabal minor</i>	Texas Dwarf Palmetto	■	■	
<i>Salvia greggii</i>	Gregg Salvia	■	■	
<i>Salvia leucantha</i>	Mexican Bush Sage	■	■	
<i>Salvia regia</i>	Mountain Sage	■	■	
<i>Symphoricarpos orbiculatus</i>	Coralberry	■	■	
<i>Teucrium fruticans</i>	Bush Germander	■	■	
<i>Yucca aloifolia</i>	Spanish Dagger	■	■	■

<i>Yucca angustissima</i>	Narrowleaf Yucca	■	■	■
<i>Yucca arkansana</i>	Arkansas Yucca	■	■	
<i>Yucca pallida</i>	Paleleaf Yucca	■	■	■
<i>Yucca recurvifolia</i>	Softleaf Yucca	■	■	■
<i>Yucca rupicola</i>	Twistleaf or Curly Leaf Yucca	■	■	■

### GRASSES

<i>Botanical Name</i>	<i>Common Name</i>	<i>Private</i>	<i>Transition</i>	<i>Natural</i>
<i>Andropogon gerardii</i>	Big bluestem	■	■	■
<i>Andropogon glomeratus</i>	Bushy Bluestem	■	■	■
<i>Aristida purpurea</i>	Purple Threeawn, Purple Threeawn	■		
<i>Aristida wrightii</i>	Wrights Threeawn, Wrights Threeawn	■		
<i>Bouteloua curtipendula</i>	Sedeoats Grama	■	■	■
<i>Bouteloua gracilis</i>	Blue Grama	■	■	■
<i>Bouteloua rigidseta</i>	Texas Grama	■	■	■
<i>Bouteloua trifida</i> Thurb.	Red Grama	■	■	■
<i>Buchloe dactyloides</i>	Buffalo Grass	■	■	
<i>Chasmanthium latifolium</i>	Island Sea Oats, Chasmanthium	■	■	■
<i>Dichanthelium oligosanthes</i>	Scribners Panicum	■	■	
<i>Eragrostis intermedia</i>	Plains Lovegrass	■	■	■
<i>Erineuron pilosum</i>	Hairy Tridens	■		
<i>Hilaria belangeri</i>	Curly Mesquite	■	■	■
<i>Leptochloa dubia</i> (H.B.K)	Green Springletop/Green Sprangletop	■	■	■
<i>Muhlenbergia capillaris</i>	Gulf Muhly	■	■	
<i>Muhlenbergia dumosa</i>	Bamboo Muhly	■	■	■
<i>Muhlenbergia lindheimeri</i>	Lindheimer Muhly	■	■	■
<i>Muhlenbergia mexicana</i>	Big Muhly	■	■	■
<i>Muhlenbergia reverchonii</i>	Seep Muhly	■	■	■
<i>Muhlenbergia rigens</i>	Deer Muhly	■	■	■
<i>Nolina microcarpa</i>	Basket Grass, Sacahuista	■	■	■
<i>Panicum virgatum</i>	Switchgrass	■	■	
<i>Pennisetum alopecuroides</i>	Dwarf Fountain Grass	■	■	
<i>Schizachyrium scoparium</i>	Little Bluestem	■	■	■
<i>Scleropogon brevifolius</i>	Burrograss	■	■	
<i>Setaria leucopila</i>	Plains Nistlegrass	■	■	■
<i>Sorghastrum nutans</i>	Indian Grass	■	■	■
<i>Sporobolus cryptandrus</i>	Perennial Sand Dropseed	■	■	■
<i>Stipa tenuissima</i>	Mexican Feathergrass, Wiregrass	■		
<i>Tripsacum dactyloides</i>	Eastern Gamagrass	■	■	■

### PERENNIALS

<i>Botanical Name</i>	<i>Common Name</i>	<i>Private</i>	<i>Transition</i>	<i>Natural</i>
<i>Achillea</i> sp.	Yarrow	■	■	■
<i>Aquilegia canadensis</i>	Red Columbine	■	■	■
<i>Aquilegia chrysantha</i>	Yellow Columbine	■	■	■
<i>Aspidistra elatior</i>	Cast Iron Plant	■		

PERENNIALS (continued)

<i>Botanical Name</i>	<i>Common Name</i>	<i>Private</i>	<i>Transition</i>	<i>Natural</i>
<i>Aster grandiflorus</i>	Wild Blue Aster	■	■	■
<i>Aster oblongifolius</i>	Fall Aster			
<i>Bulbine frutescens</i>	Bulbine	■		
<i>Caesalpinia gilliesii</i>	Yellow Bird of Paradise	■		
<i>Caesalpinia pulcherrima</i>	Pride of Barbados	■		
<i>Callirhoe involucrate</i>	Winecup	■	■	■
<i>Calylophus drummondianus</i>	Calylophus, Square Bud Primrose	■		
<i>Capsicum annuum</i>	Chile Pequin, Chile Petin	■	■	■
<i>Chrysactinia mexicana</i>	Damianita	■	■	
<i>Coreopsis lanceolata</i>	Coreopsis	■	■	
<i>Coreopsis tinctoria</i>	Plains Coreopsis, Goldenwave	■	■	
<i>Cuphea x. 'David Verity'</i>	Cuphea 'David Verity'	■	■	
<i>Delphinium carolinianum</i>	Blue Larkspur	■	■	■
<i>Dietes bicolor (Morea bicolor)</i>	Bicolor Iris	■		
<i>Echinacea purpurea</i>	Purple Coneflower	■	■	
<i>Eupatorium greggii, Conoclinium greggii</i>	Gregg's Mistflower	■	■	
<i>Guara lindheimeri</i>	Guara	■	■	
<i>Hamelia patens</i>	Firebush	■	■	
<i>Hibiscus moscheutos (hybrida)</i>	Perennial Hibiscus	■	■	
<i>Ipomoea fistulosa</i>	Bush Morning Glory	■	■	
<i>Iris germanica</i>	Bearded Iris	■		
<i>Justicia brandegeana</i>	Shrimp Plant	■		
<i>Justicia spicigera</i>	Mexican Honesuckle	■	■	
<i>Lantana montevidensis</i>	Trailing Lantana	■		
<i>Lantana x hybrida</i>	Lantana (hybrid)	■		
<i>Liatris mucronata</i>	Gayfeather	■	■	■
<i>Lobelia cardinalis</i>	Cardinalflower	■	■	■
<i>Melampodium leucanthum</i>	Blackfoot Daisy	■	■	■
<i>Oenothera missouriensis</i>	Yellow Evening Primrose	■	■	■
<i>Pavonia lasiopetala</i>	Texas Rock Rose	■	■	
<i>Penstemon baccharifolius</i>	Rock Penstemon	■	■	■
<i>Penstemon harvardii</i>	Harvard Penstemon	■	■	■
<i>Penstemon spp.</i>	Pecos Penstemon	■	■	■
<i>Penstemon tenuis</i>	Gulf Coast Penstemon	■	■	
<i>Penstemon triflorus</i>	Hill Country Penstemon	■	■	■
<i>Perovskia atriplicifolia</i>	Russian Sage	■	■	
<i>Phlomis fruticosa</i>	Jerusalem Sage	■	■	
<i>Phlox paniculata</i>	Garden Phlox	■	■	
<i>Physostegia virginiana</i>	Fall Obedient Plant	■	■	
<i>Poliomintha longiflora</i>	Mexican Oregano	■	■	
<i>Plumbago auriculata</i>	Plumbago	■		
<i>Ratibida columnaris</i>	Mexican Hat	■	■	■
<i>Ruellia brittoniana</i>	Ruellia (dwarf)	■		

Salvia coccinea	Tropical Sage		■	
Salvia engelmannii	Englemann Sage	■		■
Salvia farinacea	Mealy Blue Sage	■		■
Salvia greggii	Cherry Sage, Autumn Sage	■		■
Salvia leucantha	Mexican Bush Sage	■		■
Salvia 'Indigo Spires'	Indigo Spires	■		■
Salvia lyrata	Lyreleaf Sage	■		■
Salvia penstemonoides	Penstemon Sage, Big Red Sage	■		■
Salvia roemeriana	Cedar Sage	■	■	■
Scutellaria suffrutescens	Pink Skullcap	■	■	■
Scutellaria wrightii	Skullcap	■	■	■
Senna lindheimeriana	Lindheimer Senna	■		
Sisyrinchium spp.	Blue-eyed Grass	■	■	
Stachys byzantina	Lamb's Ear	■		
Stachys coccinea	Texas Betony	■	■	
Tagetes lemmonii	Copper Canyon Daisy	■	■	
Tagetes lucida	Mexican Mint Marigold	■	■	
Tecoma stans	Esperanza, Yellow Bells	■	■	
Tetaneuris scaposa	Hymenoxys, Four Nerve Daisy	■	■	■
Thelypteris kunthii	River Fern	■	■	■
Tulbaghia violacea	Society Garlic	■		
Verbena bipinnatifida	Prairie Verbena	■	■	
Viguiera stenoloba	Skeletonleaf Goldeneye	■	■	
Wedelia texana or Zexmenia hispida	Zexmenia	■	■	
Wissadula holosericea	Native Mallow (velvet leaf)	■	■	■

#### GROUND COVER

<i>Botanical Name</i>	<i>Common Name</i>	<i>Private</i>	<i>Transition</i>	<i>Natural</i>
Artemisia 'Powis Castle'	Artemesia	■		
Calyptocarpus vialis	Horseherb	■	■	
Carex perdentata	Meadow Sedge	■	■	■
Carex texensis	Texas Sedge	■	■	
Carex tumulicola	Berkeley Sedge	■	■	
Ceratostigma plumbaginoides	Leadwort Plumbago	■		
Dalea greggii	Gregg Dalea	■		
Dichondra argentea	Solvery Ponyfoot	■		
Echinacrus reichenbachii	Lace Cactus	■	■	■
Liriope muscari	Liriope	■		
Nolina erumpens	Beargrass	■	■	■
Ophiopogon intermedius	Aztec Grass	■		
Ophiopogon japonicus	Monkey Grass, Mondo Grass	■		
Orbexilum sp. (nova)	Mountain Pea	■		
Origanum vulgare	Oregano	■		
Pavonia lasiopetala	Pavonia	■	■	
Phyla incisa	Frogfruit	■	■	■

## GROUND COVER (continued)

<i>Botanical Name</i>	<i>Common Name</i>	<i>Private</i>	<i>Transition</i>	<i>Natural</i>
<i>Rivina humilis</i>	Pigeonberry	■	■	■
<i>Rosemarinas officinalis</i> var. <i>prostratus</i>	Trailing Rosemary	■		
<i>Ruellia nudiflora</i>	Reullias, Wild Petunia	■	■	
<i>Santolina chamaecyparissus</i>	Santolina, Lavender Cotton	■	■	
<i>Sedum</i> sp.	Sedum, Stonecrop	■	■	
<i>Setcreasea pallida</i>	Purple Heart	■		
<i>Stemodia lanata</i> ( <i>Stemodia tomentosa</i> )	Wooly Stemodia	■		
<i>Teucrium cossonii</i>	Creeping Germander	■	■	
<i>Various species endemic to the Hill Country, especially Thelypteris ovata (River Fern)</i>	Ferns*	■	■	■
<i>Tradescantia micrantha</i>	Spiderwort	■	■	■

\*Low Land Only

## ANNUALS, BIENNIALS, AND SHORT-LIVED PERENNIALS

<i>Botanical Name</i>	<i>Common Name</i>	<i>Private</i>	<i>Transition</i>	<i>Natural</i>
<i>Asclepias asperula</i>	Antelope, Antelope Horns	■	■	■
<i>Asclepia syriaca</i>	Milkweed	■	■	■
<i>Castilleja indivisa</i>	Indian Paintbrush	■	■	■
<i>Centaurium beyrichii</i>	Mountain Pink	■	■	■
<i>Cosmos bipinnatus</i>	Cosmos	■	■	■
<i>Eustoma grandiflorum</i>	Texas Bluebell	■	■	■
<i>Gaillardia pulchella</i>	Gaillardia (Indian Blanket)	■	■	■
<i>Helianthus maximiliani</i>	Maximilian Sunflower	■	■	■
<i>Linum rubrum</i>	Scarlet Flax	■	■	■
<i>Lupinus texensis</i>	Bluebonnet	■	■	■
<i>Monarda citriodora</i>	Lemon Horsemint	■	■	■
<i>Rudbeckia hirta</i>	Black-eyed Susan	■	■	■

## VINES

<i>Botanical Name</i>	<i>Common Name</i>	<i>Private</i>	<i>Transition</i>	<i>Natural</i>
<i>Ampelopsis arborea</i>	Peppervine	■	■	
<i>Antigonon leptopus</i>	Coral Vine	■	■	
<i>Berchemia scandens</i>	Ratan	■	■	
<i>Bignonia capreolata</i>	Bignonia, Crossvine	■	■	
<i>Campsis radicans</i>	Trumpet Vine	■	■	
<i>Ficus pumila</i>	Fig Vine	■		
<i>Gelsemium sempervirens</i>	Carolina Jessamine	■		
<i>Lonicera fragrantissima</i>	Honeysuckle	■	■	
<i>Lonicera sempervirens</i>	Coral Honeysuckle	■	■	
<i>Parthenocissus quinquefolia</i>	Virginia Creeper	■	■	■
<i>Passiflora incarnata</i>	Passion Vine	■		
<i>Smilax bona-nox</i>	Greenbrier	■	■	
<i>Vitis</i> spp.	Grape	■	■	

## appendix C prohibited plant material

The prohibited plant list in Appendix C consists of plants that will not work with the intended landscape design intentions. This list is not intended to include all unacceptable plants. The DRC reserves the right to reject any plant for any reason deemed necessary to protect the integrity of the landscape design intentions. Even if a plant has been installed elsewhere on the project it does not mean that it will be acceptable everywhere. The general intent is to use primarily native plant material when possible. While there are always exceptions, due to individual preference or difficult siting, native plants should be favored in planting design. Specialized or over-themed garden styles should be avoided along trails and streets. Tall grasses and plants with blue, red, yellow, variegated, grey, or other disquieting foliage colors should be avoided.

<i>Common Name</i>	<i>Botanical Name</i>
Tree of Heaven	<i>Ailanthus altissima</i>
Mimosa (non-native)	<i>Albizia julibrissin</i>
Elephant Ear	<i>Alocasia</i> spp., <i>Colocasia</i> spp.
Giant Cane	<i>Arundo donax</i>
Rescue Grass	<i>Bromus unioloides</i>
Paper Mulberry	<i>Broussonetia papyrifera</i>
Pampas Grass	<i>Cortaderia selloana</i>
Common Bermuda Grass	<i>Cynodon</i> spp.
Holly Fern	<i>Cyrtomium falcatum</i>
Russian Olive	<i>Eleagnus angustifolia</i>
Chinese Parasol Tree	<i>Firmiana simplex</i>
English Ivy	<i>Hedera helix</i>
Was Leaf Ligustrum	<i>Ligustrum japonicum</i>
Japanese Ligustrum	<i>Ligustrum lucidum</i>
Common Privet	<i>Ligustrum sinense</i> , <i>Ligustrum vulgare</i>
Japanese Honesuckle	<i>Lonicera japonica</i>
Cat's Claw Vine	<i>Macfadyena unguis-cati</i>
Chinaberry	<i>Melia azedarach</i>
White Mulberry	<i>Morus alba</i>
Nandina (berrying varieties)	<i>Nandina domestica</i>
Chinese Photinia	<i>Photinia</i> spp.
Running Bamboo	<i>Phyllostachys aurea</i>
Chinese Pistache	<i>Pistacia chinensis</i>
Kudzu	<i>Pueraria lobata</i>
Pyracantha	<i>Pyracantha</i> spp.
Chinese Tallow	<i>Sapium sebiferum</i>
St. Augustine Grass	<i>Stenotaphrum secundatum</i>
Salt Cedar Tamarisk	<i>Tamarix</i> spp.
Asian Jasmine	<i>Trachelospermum asiaticum</i>
Vinca	<i>Vinca major</i> and <i>V. minor</i>
Wisteria	<i>Wisteria sinensis</i> , <i>W. floribunda</i>

# appendix D DRC application and forms

## A. DESIGN REVIEW CHECKLIST:

- Lot and phase numbers and Owner's name
- Property boundaries with all dimensions and benchmarks, including curb, right of way and north arrow
- Easements – utility and/or drainage
- Building setbacks – front, rear and both sides
- Topography at 1 foot contours – existing
- Topography at 1 foot contours – proposed
- Utilities locations including gas, water, electric transformer and meter, cable TV, telephone, sanitary sewer and manholes
- Utility trenching
- Culverts (if applicable)
- Existing or adjacent sidewalks, fencing, walls or other structures
- Proposed building footprints with roof plan (roof plan may be separate)
- Driveways, parking areas, walkways, decks and swimming pools
- Air conditioner and/or pool equipment structural screen walls
- Drainage mitigation
- Tree survey showing all trees and other distinguishable vegetation
- Unique site features, i.e., rock outcroppings and slopes, cliff ledges
- Tree legend indicating size and species
- Trees to remain
- Trees to be removed
- Proposed plant list, sod or turf type
- Methods for re-vegetation of disturbed areas
- Extent of irrigation
- Swimming pool and/or water features
- Fencing – landscape walls

### ARCHITECTURAL PLANS

- Dimensioned floor plans with rooms identified
- Adjacent stoops, decks and walks
- Exterior electric meter, service box and other utility connections
- Two-car garage minimum (single doors preferred)

### SQUARE FOOTAGE ANALYSIS:

Lower Level HVAC Area	SF
First Floor HVAC Area	SF
Second Floor HVAC Area	SF
Other HVAC Area	SF
Total HVAC Area	SF
Lower Level Covered Area	SF
First Floor Covered Area	SF
Garage	SF
Second Floor Covered Area	SF
Other Covered Area	SF
Total Covered Area	SF
Gross Square Footage	SF
Driveway	SF
Motorcourt	SF
Terraces and Walks	SF
Pool	SF

### ELEVATIONS

- Existing grades and proposed grades
- Building height
- Masonry lugs to drop with grade
- Overhangs of 18 inches minimum
- Roof pitch of 3½ minimum and 9½ maximum
- 100% masonry construction, preferably stone, stone and stucco combination
- Wood windows with divided lights
- Concrete tile, clay tile, standing seam sheet metal or slate roof materials, in muted earth tone colors

### BUILDING SECTION

- A representative section through the building
- Existing grades
- Proposed grades
- Finished floor elevation
- Roof height
- View orientation
- Roof overhang – pitch

**BUILDING SECTION**

- Sections \_\_\_\_\_
- Masonry lugs \_\_\_\_\_
- Finished floor elevation \_\_\_\_\_
- Existing grades \_\_\_\_\_
- Proposed grades \_\_\_\_\_

**CONSTRUCTION PLAN**

- Septic plan with layout and location of tanks \_\_\_\_\_
- Utility trenching routes \_\_\_\_\_
- Site fencing, safety and perimeter fencing per County and tree protection fencing \_\_\_\_\_
- Location of dumpster, materials stockpile, portable toilet and field office \_\_\_\_\_
- Site access point, curb protection measures \_\_\_\_\_
- Limit of construction area \_\_\_\_\_
- Schedule \_\_\_\_\_

**SAMPLE BOARD**

- Masonry or stone size, pattern and color, mortar color \_\_\_\_\_
- Exterior trim and window color \_\_\_\_\_
- Roof tile sample \_\_\_\_\_
- Driveway material \_\_\_\_\_

**B. DESIGN REVIEW APPLICATION**

The Committee will review an application after the Pre-Construction Conference and when the application is complete, i.e., when all required drawings, information, materials and the application have been submitted. Please contact the Committee if you have additional questions.

# APPLICATION FOR ARCHITECTURAL DESIGN REVIEW

Skywater Design Review Committee  
608 Gateway Central, Suite 101 Marble Falls, TX 78654

Application Date \_\_\_\_\_  
Homesite Number \_\_\_\_\_

- Type of Review Requested
- Pre-Design Conference
  - Preliminary Design Review
  - Final Design Review

1 Applicant's Name \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Telephone \_\_\_\_\_  
E-mail \_\_\_\_\_

2 Lot Address \_\_\_\_\_  
Assessor's Parcel Number \_\_\_\_\_

3 Lot Owner \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Telephone \_\_\_\_\_  
E-mail \_\_\_\_\_

4 Builder \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Telephone \_\_\_\_\_  
E-mail \_\_\_\_\_

5 Architect \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
E-mail \_\_\_\_\_  
Telephone \_\_\_\_\_  
E-mail \_\_\_\_\_

6 Landscape Architect \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Telephone \_\_\_\_\_  
E-mail \_\_\_\_\_

7 Project Description \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# APPLICATION FOR VARIANCE REQUEST

Skywater Design Review Committee  
608 Gateway Central, Suite 101 Marble Falls, TX 78654

Application Date \_\_\_\_\_

Homesite Number \_\_\_\_\_

1 Applicant's Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_

E-mail \_\_\_\_\_

2 Lot Address \_\_\_\_\_

Assessor's Parcel Number \_\_\_\_\_

3 Lot Owner \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_

E-mail \_\_\_\_\_

4 Builder \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_

E-mail \_\_\_\_\_

5 Architect \_\_\_\_\_

Mailing Address \_\_\_\_\_

E-mail \_\_\_\_\_

Telephone \_\_\_\_\_

E-mail \_\_\_\_\_

6 Landscape Architect \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_

E-mail \_\_\_\_\_

VARIANCES: Variances can be granted by the DRC when circumstances such as topography, natural obstructions, hardship, aesthetic, or environmental considerations may require them. Indicate below why circumstances require that a variance be granted. (Attach additional sheets if more room is needed.)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



